



Fairfield

BY MARRIOTT

GENERATION 4.5

4 STORY
80 GUEST UNITS

DECOR: MODERN CALM

APRIL 1, 2020

DESIGN DEVELOPMENT PHASE
PRICING SET
(NOT FOR CONSTRUCTION)

MARRIOTT PROJECT #: 11836
NEWBERG - OREGON - U.S.A.

PROJECT TEAM

DEVELOPER

HAWKINS COMPANIES, LLC
850 BROAD STREET, SUITE 300
BOISE, ID 83709
PHONE:

CONTACT: MARK MITCHELL

HOTEL MANAGEMENT

ESCAPE LODGING
1315 S HEMLOCK ST #3
CANNON BEACH, OR 97110
PHONE: 503-436-2480

CONTACT: PATRICK NOFIELD

ELECTRICAL ENGINEER

LANDIS CONSULTING
6446 FAIRWAY AVE SE
SUITE 220
SALEM, OR 97306
PHONE: 503-584-1576

CONTACT: BEN PERRY, P.E.

GENERAL CONTRACTOR

O'BRIEN & COMPANY
203 NW 21ST AVE, SUITE 201
PORTLAND, OR 97209
PHONE: 971-865-2983

CONTACT: KEELEY O'BRIEN

ARCHITECT

ABBOTT ARCHITECTURE, LLC
18510 POP KEENEY WAY
SUITE 103
BOTHELL, WA 98011
PHONE: 206-778-7008

CONTACT: MICHAEL ABBOTT, AIA, NCARB

MECHANICAL ENGINEER - HVAC

COMFORT FLOW HEATING & AC
1951 DON STREET
SPRINGFIELD, OR 97477
PHONE: 541-726-0100

CONTACT: MARK PENROD, P.E., LEED AP

SURVEY ENGINEER

AKS ENGINEERING
12965 SW HERMAN RD STE 100
TUALATIN, OR 97062
PHONE: 503-563-6151

CONTACT: NICK WHITE, PLS

GEOTECH ENGINEER

GEO-PACIFIC ENGINEERING, INC.
14835 SW 12ND AVENUE
PORTLAND, OR 97224
PHONE: 503-598-8445

CONTACT: BENJAMIN COOK, C.E.G.

MECHANICAL ENGINEER - PLUMBING

MECH ENGINEERING SERVICES
8630 SW SCHOLLS FERRY RD #220
BEAVERTON, OR 97008
PHONE: 503-457-1110

CONTACT: STEVEN VAN RIESSEN, P.E.

CIVIL ENGINEER

HBH CONSULTING ENGINEERS, INC.
501 E FIRST STREET
NEWBERG, OR 97132
PHONE: 503-554-9553

CONTACT: ANDREY CHERNISHOV, PE, CWRE

STRUCTURAL ENGINEER

SWENSON SAY FAGET
2124 THIRD AVENUE
SUITE 100
SEATTLE, WA 98121
PHONE: 206-443-6212

CONTACT: PETE KREBS, PE, SE

FIRE SPRINKLER ENGINEER

SPRINK-IT
PO BOX 2227
OREGON CITY, OR 97045
PHONE: 503-272-6650

CONTACT: TRAVIS SCHWEITZER

LANDSCAPE ARCHITECT

OTTEN + ASSOCIATES
LANDSCAPE ARCHITECTURE
3433 SW KELLY AVE, SUITE B
PORTLAND, OR 97239
PHONE: 503-972-0311

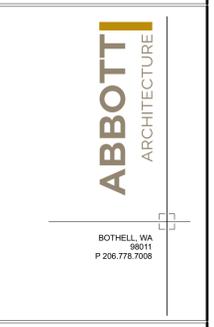
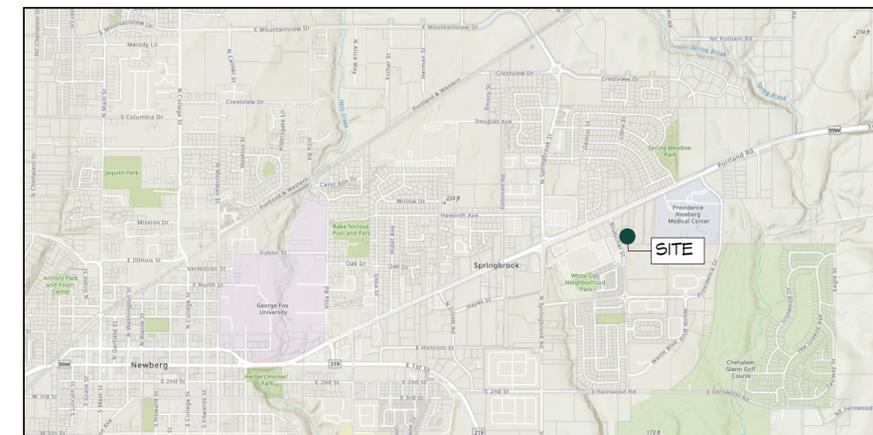
CONTACT: ERIN HOLSONBACK, LA

FRANCHISE

MARRIOTT INTERNATIONAL, INC.
10400 FERNWOOD ROAD
BETHESDA, MD 20817
PHONE: 301-380-3000

VICINITY MAP

901 N. BRUTSCHER STREET • NEWBERG • OR • 97132



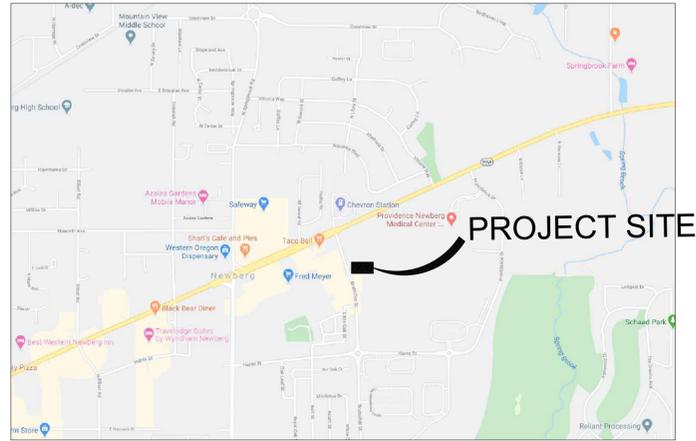
FAIRFIELD INN AND SUITES
BY MARRIOTT

Newberg • Oregon • USA

Fairfield Inn and Suites Marriott	
901 N. Brutscher Street Newberg, OR	
DATE	4/1/2020
PRODUCT	1907
DRAWN BY	MV-MA
LANDSCAPE	COVER SHEET
A001	

NOT FOR CONSTRUCTION - DD PRICING SET ONLY

FAIRFIELD INN NEWBERG, OREGON FEBRUARY, 2020



VICINITY MAP

NOT TO SCALE

LEGEND

— SS —	PROPOSED SANITARY SEWER		PROPOSED CONCRETE
— SD —	PROPOSED STORM SEWER		PROPOSED ASPHALT
— W —	PROPOSED WATER MAIN		PROPOSED LANDSCAPING
— FW —	PROPOSED FIRE WATER MAIN		
— WS —	PROPOSED WATER SERVICE		
- - - - -	PROPOSED SAWCUT LINE		

ABBREVIATIONS

©	AT	N	NORTH
AC	ASPHALT	NE	NORTH EAST
BV	BUTTERFLY VALVE	NTS	NOT TO SCALE
CB	CATCH BASIN	NW	NORTH WEST
C/L	CENTERLINE	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVE
CO	CLEAN OUT	PT	POINT OF TANGENCY
COTG	CLEAN OUT TO GRADE	P/L	PROPERTY LINE
CY	CUBIC YARDS	PVC	POLYVINYL CHLORIDE
DR	DRIVE	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	ROW	RIGHT OF WAY
E	EAST	RT	RIGHT
ELEV	ELEVATION	S	SOUTH
EP	EDGE OF PAVEMENT	SE	SOUTH EAST
EX	EXISTING	SW	SOUTH WEST
FLG	FLANGE	STM	STORM DRAIN
GUT	GUTTER	SF	SQUARE FEET
GV	GATE VALVE	SAN	SANITARY SEWER
HDPE	HIGH DENSITY POLYETHYLENE	ST	STREET
HOR	HORIZONTAL	STA	STATION
HP	HIGH POINT	S=	SLOPE EQUALS
HYD	HYDRANT	S/W	SIDEWALK
IE	INVERT ELEVATION	TB	THRUST BLOCK
LF	LINEAR FEET	TYP	TYPICAL
LN	LINE	VER	VERTICAL
LP	LOW POINT	W	WEST
LT	LEFT	W/	WITH
MH	MANHOLE	WTR	WATER
MJ	MECHANICAL JOINT		

TAX LOT INFORMATION

THIS PROJECT IS LOCATED ON TAX LOTS 1900 & 2002, SW 1/4 SECTION 16, T. 3 S., R. 2 W., W.M. WITHIN THE CITY OF NEWBERG, COUNTY OF YAMHILL, STATE OF OREGON.

VERTICAL DATUM

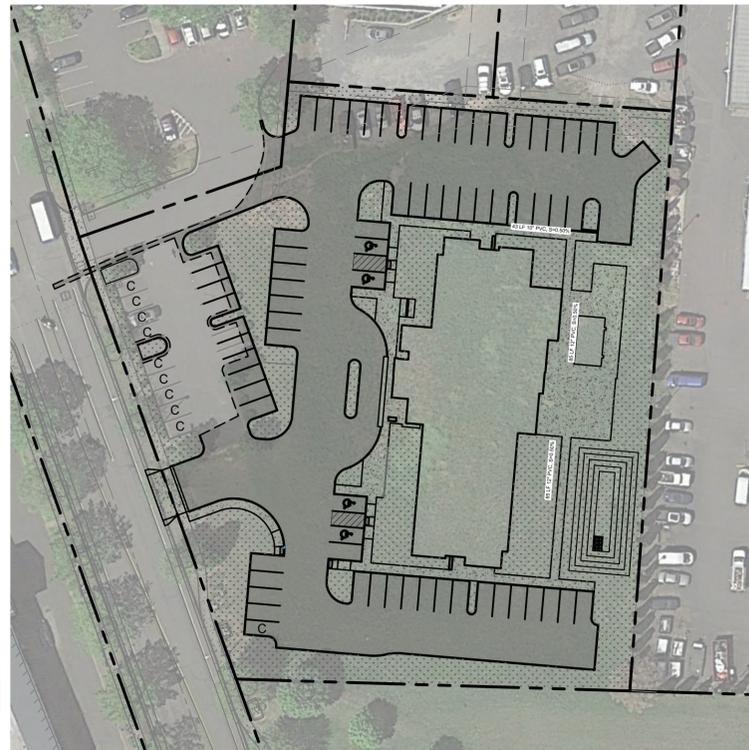
ELEVATIONS ARE BASED ON NAVD88 DERIVED FROM THE TRIMBLE NOW VRS.

PROJECT SITE ADDRESS

TAX LOT 1900 AND 2002
NEWBERG, OR 97132

LOCATE

(48 HOUR NOTICE PRIOR TO EXCAVATION) OREGON LAW REQUIRES YOU TO FOLLOW THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090 & ORS 757.542 THROUGH 757.562 AND ORS 757.993. YOU MAY OBTAIN COPIES OF THE RULES FROM THE CENTER BY CALLING (503) 232-1987. ONE CALL SYSTEM NUMBER 1-800-332-2344.



SITE PLAN

1"=50'

DEVELOPER:

HAWKINS COMPANIES LLC (FOR ESCAPE LODGING COMPANY)
855 BROAD STREET, SUITE 300
BOISE, ID 83702
CONTACT: BRANDON WHALLON
PH: (208) 376-8522
EMAIL: BWHALLON@HCOLLC.COM

CIVIL ENGINEER

HBH CONSULTING ENGINEERS, INC.
501 E FIRST STREET
NEWBERG, OREGON 97132
CONTACT: ANDREY CHERNISHOV, PE
PH: (503) 554-9553
EMAIL: ACHERNISHOV@HBH-CONSULTING.COM

SURVEYOR:

AKS ENGINEERING & FORESTRY, LLC
12965 SW HERMAN RD, STE 100
TUALATIN, OR 97062
PH: (503) 563-6151
CONTACT: NICK WHITE

SHEET LIST TABLE:

G1	COVER
G2	NOTES
G3	EXISTING CONDITIONS & DEMO
C1	SITE PLAN
C2	COMPOSITE UTILITY PLAN
C3	GRADING PLAN
C4	DETAILS
C5	DETAILS
C6	DETAILS
C7	DETAILS
C8	DETAILS
F1	FIRE PLAN



H B H
CONSULTING ENGINEERS

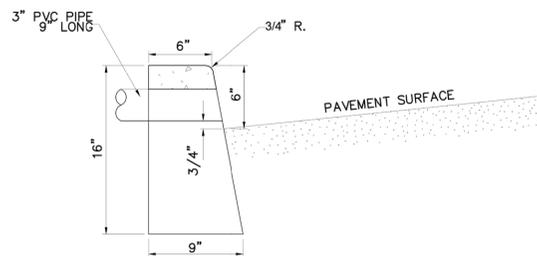
501 E First Street
Newberg, Oregon 97132
CONTACT: ANDREY CHERNISHOV, PE
PH: (503) 554-9553
email: mail@hbh-consulting.com

Designed By: ARB | Checked By: ARC | Submitted No: PRELIMINARY
Drawn By: ARB | File: L:\2020-006\4-Design\DWG1 - Cover, Notes, Existing & Demo.dwg

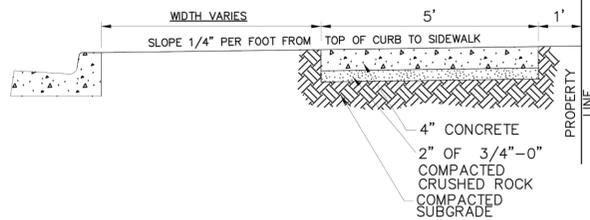
REV.	DATE	DESCRIPTION

IF THIS LINE IS NOT 1 INCH SCALE IS NOT AS SHOWN

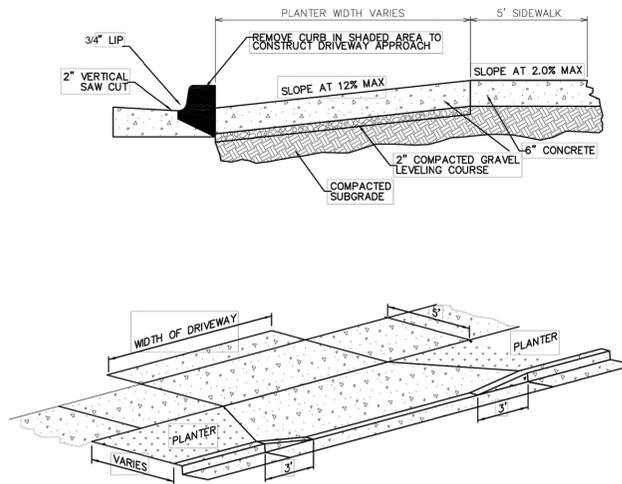
HAWKINS COMPANIES LLC
855 BROAD ST., SUITE 300, BOISE ID 83702
NEWBERG FAIRFIELD INN
PARCELS 1900 + 2002, NEWBERG OR 97132
COVER



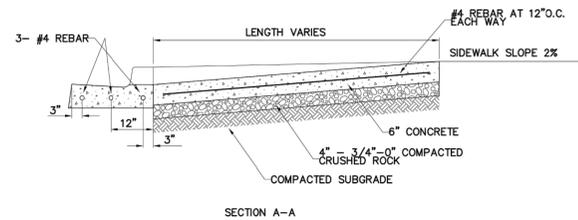
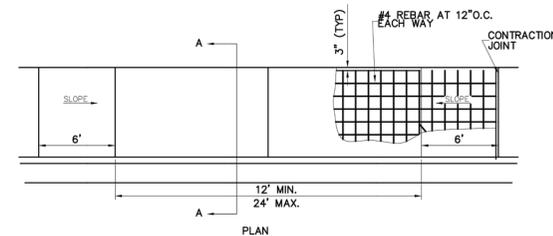
- NOTES:
1. CONCRETE SHALL HAVE STRENGTH OF 3300 P.S.I. AT 28 DAYS.
 2. TRANSVERSE CONTRACTION JOINTS - MAKE 1/8" x 1 1/2" DEEP CUT SPACED AT 15' INTERVALS.
 3. THIS TYPE OF CURB TO BE USED ONLY WHERE SPECIFIED.
 4. APPLY CURING COMPOUND (PETROLEUM BASE) TO FRESH CONCRETE TO RETAIN MOISTURE.



- NOTES:
1. SLOPE FROM THE PROPERTY LINE TO THE STREET AT 2%.
 2. WORK AGGREGATE INTO CONCRETE PRIOR TO FINISHING CONCRETE.
 3. FINISHING DETAILS
 - EDGE CONCRETE WITH 3" EDGING TROWEL.
 - SCORE CONCRETE AT 5' INTERVALS.
 - INSTALL 1/8" x 1 1/2" CONTRACTION JOINTS EVERY 15'.
 - FABRIC TYPE EXPANSION JOINT NOT TO BE USED
 - APPLY LIGHT BROOM FINISH TRANSVERSE TO THE SIDEWALK.
 4. CONCRETE SHALL HAVE STRENGTH OF 3300 P.S.I. AT 28 DAYS.
 5. APPLY CURING COMPOUND (PETROLEUM BASE) TO FRESH CONCRETE TO RETAIN MOISTURE.
 6. TOLERANCES
 - SURFACE SHALL NOT VARY MORE THAN 1/4" FROM A 10' STRAIGHT EDGE.
 - ALIGNMENT SHALL BE WITHIN 1/4" OF TRUE LINE.



- NOTES:
1. CONCRETE SHALL HAVE STRENGTH OF 3300 P.S.I. AT 28 DAYS.
 2. LIMITS OF DRIVEWAY SHALL BE SAW CUT.
 3. APPLY A LIGHT BROOM FINISH TRANSVERSE TO THE SIDEWALK.
 4. CURB AND APPROACH SHALL BE POURED MONOLITHICALLY.
 5. IF WIDTH IS GREATER THAN 15 FEET, INSTALL CONTRACTION JOINT IN CENTER OF THE DRIVEWAY.
 6. FABRIC EXPANSION JOINT SHALL NOT BE USED.
 7. WORK AGGREGATE INTO CONCRETE PRIOR TO FINISHING CONCRETE.
 8. APPLY CURING COMPOUND TO FRESH CONCRETE TO RETAIN MOISTURE.
 9. MINIMUM DRIVEWAY WIDTH OF 12' AND MAXIMUM WIDTH OF 24' 3 CAR GARAGE MAXIMUM WIDTH OF 28'



- NOTES:
1. SEE STANDARD DRAWING 501 FOR ADDITIONAL DETAILS.

City of Newberg
PUBLIC WORKS ENGINEERING DIVISION
414 E. FIRST STREET NEWBERG, OR 97130
PHONE: 503-537-1540 FAX: 503-537-1877

REVISIONS: 05/05/2015 - ASH

SCALE: N.T.S.
DATE: May 2015
APPROVED BY: K. Hofmann
STANDARD DRAWING: 502

CURB - TYPE "C"

City of Newberg
PUBLIC WORKS ENGINEERING DIVISION
414 E. FIRST STREET NEWBERG, OR 97130
PHONE: 503-537-1540 FAX: 503-537-1877

REVISIONS: 05/05/2015 - ASH

SCALE: N.T.S.
DATE: May 2015
APPROVED BY: K. Hofmann
STANDARD DRAWING: 503

SIDEWALK TYPE "A"

City of Newberg
PUBLIC WORKS ENGINEERING DIVISION
414 E. FIRST STREET NEWBERG, OR 97130
PHONE: 503-537-1540 FAX: 503-537-1877

REVISIONS: 04/08/10, 05/05/2015 - ASH, 06/29/2015 - ASH

SCALE: N.T.S.
DATE: May 2015
APPROVED BY: K. Hofmann
STANDARD DRAWING: 508

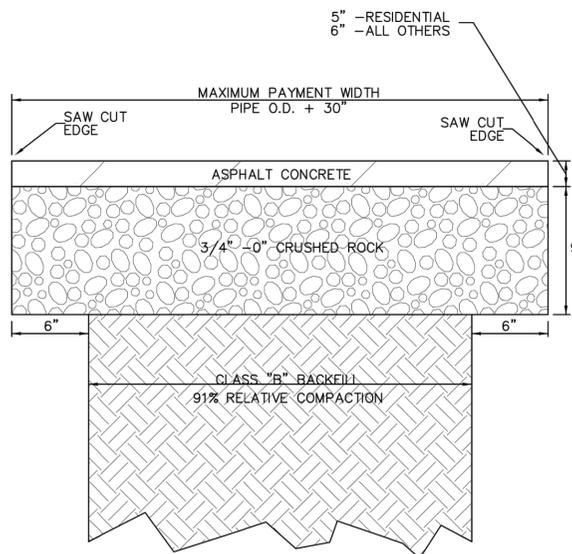
DRIVEWAY APRON CURB CUT TYPE "A" SIDEWALK

City of Newberg
PUBLIC WORKS ENGINEERING DIVISION
414 E. FIRST STREET NEWBERG, OR 97130
PHONE: 503-537-1540 FAX: 503-537-1877

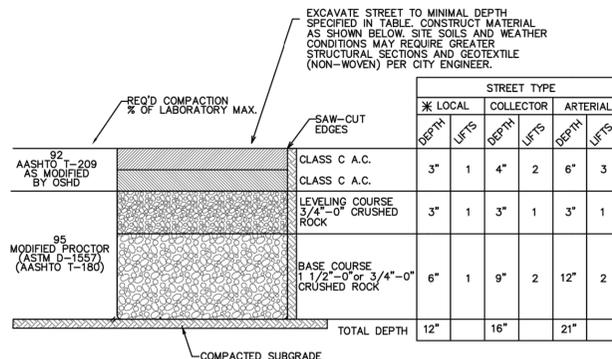
REVISIONS: Jan. 2011

SCALE: N.T.S.
DATE: May 2007
APPROVED BY: D. Banick
STANDARD DRAWING: 510

COMMERCIAL DRIVEWAY



- NOTES:
1. SAW CUT ASPHALT TO NEAT STRAIGHT LINES.
 2. ASPHALT - CLASS "C" MIX PLACED IN 2 LIFTS.
 3. ALL JOINTS SHALL BE SEALED WITH RUBBERIZED ASPHALT EMULSION (HOT OR COLD) AND DE-TACKED WITH SAND IF IMMEDIATE TRAFFIC IS NEEDED AT ALL JOINTS.
 4. ACTUAL PAYMENT WIDTH TO BE DETERMINED AT SITE PRIOR TO PAVING.
 5. REFERENCE DESIGN STANDARDS MANUAL SECTION 5.22 FOR ADDITIONAL TRENCH PAVING REQUIREMENTS.



GEOTEXTILE SPECIFICATIONS

PROPERTY	TEST	MIN. VALUE
TENSILE STRENGTH, lbs	ASTM D-4632	120
ELONGATION, WET %	ASTM D-4632	40
COEFFICIENT OF WATER PERMEABILITY, cm/sec	ASTM D-4491	0.10
PUNCTURE STRENGTH, lbs	ASTM D-4833	80
MULLEN BURST STRENGTH, psi	ASTM D-3786	250

* LOCAL STREET TYPE = INTERIOR RESIDENTIAL SINGLE FAMILY DETACHED ZONES

City of Newberg
PUBLIC WORKS ENGINEERING DIVISION
414 E. FIRST STREET NEWBERG, OR 97130
PHONE: 503-537-1540 FAX: 503-537-1877

REVISIONS: Jan. 2011, 05/07/2015 - ASH

SCALE: N.T.S.
DATE: May 2015
APPROVED BY: K. Hofmann
STANDARD DRAWING: 517

TRENCH PAVING

City of Newberg
PUBLIC WORKS ENGINEERING DIVISION
414 E. FIRST STREET NEWBERG, OR 97130
PHONE: 503-537-1540 FAX: 503-537-1877

REVISIONS:

SCALE: N.T.S.
DATE: May 2007
APPROVED BY: D. Banick
STANDARD DRAWING: 527

STRUCTURAL STREET SECTIONS

OREGON TRANSPORTATION COMMISSION
Standards for Accessible Parking Places
August 2018

MINIMUM STANDARD
SINGLE-ACCESSIBLE PARKING SPACE
(VAN-ACCESSIBLE DESIGNATION REQUIRED)

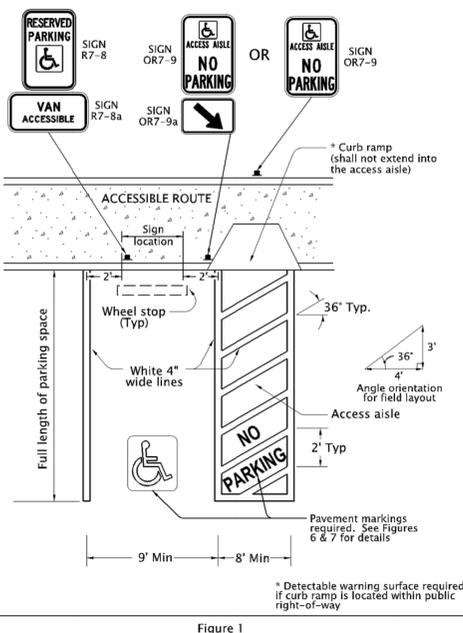
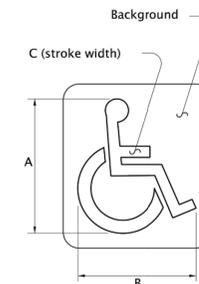


Figure 1

OREGON TRANSPORTATION COMMISSION
Standards for Accessible Parking Places
August 2018

PAVEMENT MARKING STENCIL



Pavement Marking Background: Optional: Blue, Retroreflective
Pavement Marking Stencil: White, Retroreflective

LEGEND	DIMENSIONS (INCHES)				
	A	B	C	D	E
MINIMUM	28	24	3		
STANDARD	41	36	4		

The pavement marking stencil shall be used to designate an accessible parking area reserved for vehicles with DMV permits.

Figure 6



H B H
501 E First Street
Newberg, Oregon 97132
CONSULTING 503/54-9553 fax 503/537-9554
ENGINEERS email: mail@hbh-consulting.com

Designed By: ARB Checked By: ARB Drawn By: ARB Submitted No: PRELIMINARY
File: L:\2020-0064-Design\DWG15 - Details.dwg

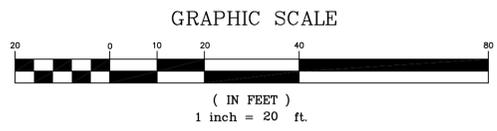
REV.	DATE	DESCRIPTION

IF THIS LINE IS NOT 1 INCH SCALE IS NOT AS SHOWN

HAWKINS COMPANIES LLC
855 BROAD ST., SUITE 300, BOISE ID 83702
NEWBERG FAIRFIELD INN
PARCELS 1900 + 2002, NEWBERG OR 97132
DETAILS

 = INSTALL LED LUMINAIRE ON A STEEL POLE.
 (X= POLE NUMBER).

 = EXISTING PUBLIC COBRAHEAD LUMINAIRE ON AN ALUMINUM POLE.




STREETLIGHTING DESIGN
 Scale: 1"= 20'

Northstar Electrical Contractors
 11055 S.W. Clay Street
 Sherwood, Oregon 97140
 Phone 503-612-0840
 Fax 503-612-0891
 Email adam.suminski@NorthStarElect.com



**FAIRFIELD INN
 AND SUITES
 NEWBERG, OR**

NO.	DATE	REV DESCRIPTION

Title: **PARKING LOT LIGHTING**
 Designed by: Adam Suminski
 Checked by: Jesse Culp
 Date: February 24, 2020

DWG. NO
EL1

STREET LIGHTING NOTES:

1: LIGHT POLES SHALL BE 25-FOOT STEEL LIGHT POLE, WITH DARK PLATINUM FINISH.

APPROVED LIGHT POLES ARE:
LUMARK SSS-5-A-25-S-L-M-1

2. LUMINAIRES SHALL BE 131 WATT LED, 240V, MAST ARM MOUNTED, DARK PLATINUM, SHOEBOX FIXTURE, WITH TWISTLOCK P.E. RECEPTACLE.

APPROVED SHOEBOX LUMINAIRES ARE:

- LP1: 131W LUMARK PRV C40-D-UNV-T3-SA-DP-HSS
- LP2: 131W LUMARK PRV C40-D-UNV-T4-SA-DP-HSS
- LP3: 131W LUMARK PRV C40-D-UNV-T4-SA-DP
- LP4: 131W LUMARK PRV C40-D-UNV-T2-SA-DP
- LP5: 131W LUMARK PRV C40-D-UNV-T4-SA-DP

3. LIGHTING CONTRACTOR/INSTALLER IS SOLELY RESPONSIBLE FOR INSTALLATION OF CORRECT MATERIAL BASED ON JURISDICTION SPECIFICATIONS AND STANDARDS. LIGHT POLE AND FIXTURE SUBMITTAL TO PROPER JURISDICTION IS REQUIRED.

LIGHT POLE LOCATION TABLE

POLE NUMBER	MH	WATTS	LUMENS	ARM	ARRANGEMENT	POLE TYPE
1	25 FT	131	15573	0.67	SINGLE	STEEL POLE
2	25 FT	131	15518	0.67	SINGLE	STEEL POLE
3	25 FT	131	17087	0.67	BACK-TO-BACK	STEEL POLE
4	25 FT	131	17172	0.67	SINGLE	STEEL POLE
5	25 FT	131	17087	0.67	SINGLE	STEEL POLE

NUMERIC SUMMARY

PROJECT: FAIRFIELD INN AND SUITES

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
PARKING LOT	ILLUMINANCE	FC	1.29	6.50	0.30	4.31

LIGHT LEVEL REQUIREMENTS

ROADWAY	CLASSIFICATION		LIGHT LEVEL	UNIFORMITY
PARKING LOT	PARKING LOT	TARGET	1.0 FC AVG	5:1 AVG/MIN
		ACHIEVED	1.29 FC AVG	4.31:1 AVG/MIN



LIGHTING NOTES

Scale:



FAIRFIELD INN
AND SUITES
NEWBERG, OR

Northstar Electrical Contractors
11055 S.W. Clay Street
Sherwood, Oregon 97140
Phone 503-612-0840
Fax 503-612-0891
Email adam.suminski@NorthStarElect.com

REV DESCRIPTION

NO.

REV DATE

Title: LIGHTING NOTES

Designed by: Adam Suminski

Checked by: Jesse Culp

Date: February 24, 2020

DWG. NO

EL2

$\frac{LP}{X}$ = INSTALL 101W LED COBRAHEAD LUMINAIRE ON AN ALUMINUM POLE. (X= POLE NUMBER).

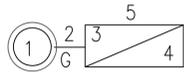
\boxtimes = INSTALL COOPER B-LINE CUP4111-GRN STREET LIGHT CONTROLLER VERIFY POWER SOURCE WITH PGE

JB1 = INSTALL JB 10" X 17" WITH LID MARKED "STREET LIGHTING"

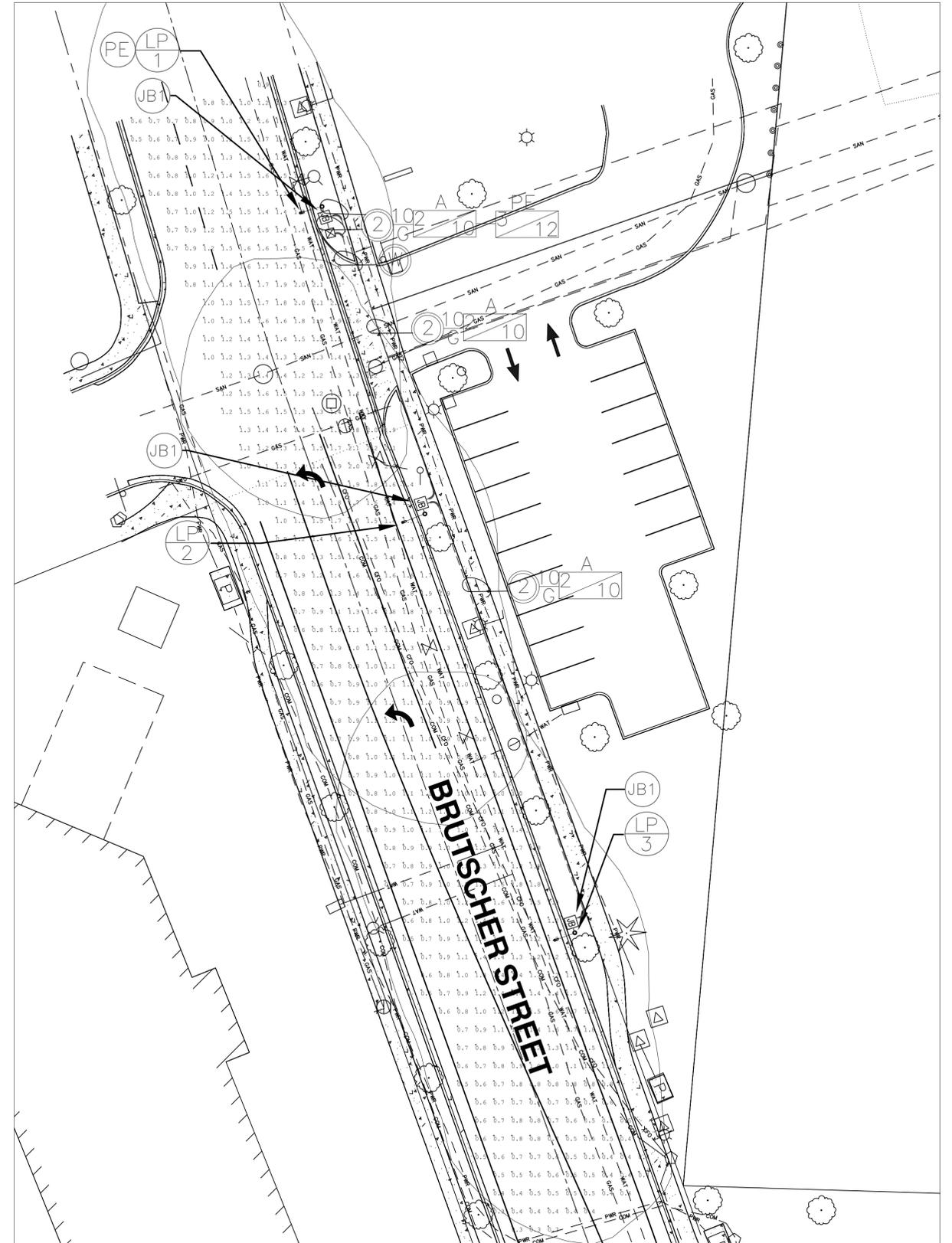
PE = INSTALL PHOTOELECTRIC CONTROL

W = INSTALL WIRE AND CONDUIT BASED ON PGE PLANS.

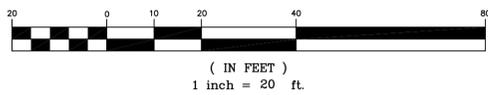
LEGEND



- 1 = CONDUIT SIZE IN INCHES
- 2 = GROUNDING CONDUCTOR SIZE
- 3 = NUMBER OF LIGHTING CONDUCTORS
- 4 = LIGHTING CONDUCTORS SIZE
- 5 = LIGHTING CIRCUIT NUMBER
- G = DESIGNATES A GROUNDING CONDUCTOR



GRAPHIC SCALE



STREETLIGHTING DESIGN

Scale: 1"= 20'



EXPIRES 6-30-20

FAIRFIELD INN
AND SUITES
NEWBERG, OR

Northstar Electrical Contractors
11055 S.W. Clay Street
Sherwood, Oregon 97140
Phone 503-612-0840
Fax 503-612-0891
Email adam.suminski@NorthStarElect.com



Title: STREET LIGHTING

Designed by: Adam Suminski

Checked by: Jesse Culp

Date: February 19, 2020

DWG. NO
EL3

STREET LIGHTING NOTES:

1. LIGHT POLES SHALL BE ALUMINUM LIGHT POLE, WITH 6' ELLIPTICAL MAST ARM, MOUNTED 30 FEET HIGH ON A PRECAST CONCRETE BASE.
2. JUNCTION BOXES SHALL BE REINFORCED PRECAST CONCRETE, WITH TAMPER RESISTANT FASTENERS. ALL BOXES SHALL BE INSTALLED NO MORE THAN 3 FEET FROM THE LIGHT POLE.
3. LUMINAIRES SHALL BE CITY OF NEWBERG APPROVED 101 WATT LED, 240V, MAST ARM MOUNTED, GRAY, COBRAHEAD, FLAT LENS FIXTURE, WITH TWISTLOCK P.E. RECEPTACLE.
4. THE PHOTOELECTRIC CONTROL SHALL BE CITY OF NEWBERG APPROVED TWISTLOCK, FAIL-ON ELECTRONIC, 105-300 VAC, 60 HZ PER ANSI 136.10, BRONZE HOUSING, 1.5 LUMEN TURN-ON, RATED 1000W TUNGSTEN (1800 VA BALLAST) 1.5:1 TURN-OFF/TURN-ON RATIO, SOLID BRASS PLUG BLADES, CONFORMALLY COATED CDS CELL, 160 JOULE MOV, 2-4 SEC. TURN-OFF DELAY.
5. BASES SHALL BE CITY OF NEWBERG APPROVED PRECAST BASES:
CITY OF NEWBERG APPROVED PRECAST BASES ARE:
UTILITY VAULT 20R-LB-5
6. THE WIRING FROM THE SPLICE BOX TO THE LUMINAIRE SHALL BE PGE APPROVED #10 AWG, 600-VOLT, 3-CONDUCTOR, CLASS B STANDING TYPE TC WITH 45-MIL SUNLIGHT RESISTANT PVC JACKET, SUITABLE FOR DIRECT BURIED APPLICATIONS. RATED 90°C DRY AND 75°C WET.
7. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO P.G.E. SCHEDULE "95" OPTION "C" SPECIFICATIONS. ALL MATERIALS AND INSTALL BE APPROVED BY CITY OF NEWBERG. LIGHT POLES, BASES, CONDUIT, WIRES, AND STREET LIGHTS TO BE INSTALLED BY ELECTRICAL CONTRACTOR.
8. THE CONTRACTOR SHALL COORDINATE WORK WITH TRACY AGUILAR AT (503) 463-5139 TO DETERMINE POWER SOURCE FOR THE LIGHTING SYSTEM.
9. LIGHTING CONTRACTOR/INSTALLER IS SOLELY RESPONSIBLE FOR INSTALLATION OF CORRECT MATERIAL BASED ON CURRENT CITY OF NEWBERG APPROVED MATERIAL LIST AND JURISDICTION SPECIFICATIONS AND STANDARDS. LIGHT POLE, JUNCTION BOX, AND FIXTURE SUBMITTAL TO PROPER JURISDICTION IS REQUIRED.

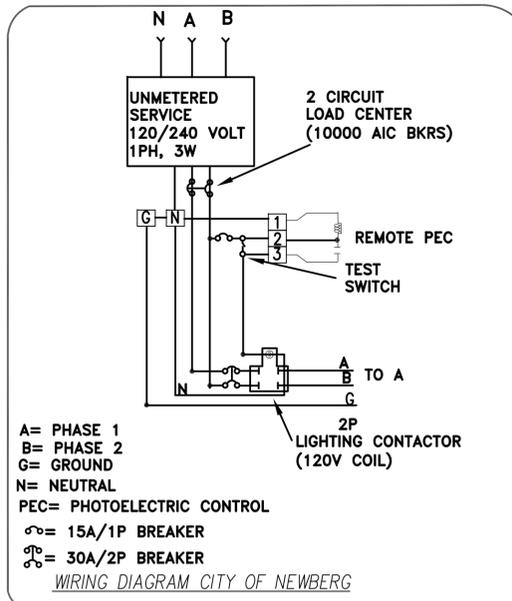
FOR 240-VOLT APPLICATIONS, THE WIRING CONFIGURATION IS:
BLACK AND RED (HOT)
GREEN (GROUND)

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BLACK AND RED (HOT)
GREEN (GROUND)



LIGHT POLE LOCATION TABLE

POLE NUMBER	MH	WATTS	LUMENS	ARM	ARRANGEMENT	STREET	POLE TYPE
1	30 FT	101	10388	6	SINGLE	BRUTSCHER STREET	ALUMINUM POLE
2	30 FT	101	10388	6	SINGLE	BRUTSCHER STREET	ALUMINUM POLE
3	30 FT	101	10388	6	SINGLE	BRUTSCHER STREET	ALUMINUM POLE

NUMERIC SUMMARY

PROJECT: FAIRFIELD INN AND SUITES

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
BRUTSCHER STREET	ILLUMINANCE	FC	1.20	2.20	0.30	4.00

LIGHT LEVEL REQUIREMENTS

ROADWAY	CLASSIFICATION	TARGET	LIGHT LEVEL	UNIFORMITY
BRUTSCHER STREET	COLLECTOR	TARGET	1.2 FC AVG	4:1 AVG/MIN
		ACHIEVED	1.20 FC AVG	4.00:1 AVG/MIN

LIGHTING NOTES

Scale:



EXPIRES 6-30-20

Northstar Electrical Contractors
11055 S.W. Clay Street
Sherwood, Oregon 97140
Phone 503-612-0840
Fax 503-612-0891
Email adam.suminski@NorthStarElect.com



**FAIRFIELD INN
AND SUITES
NEWBERG, OR**

REV DESCRIPTION

NO.

REV DATE

Title: LIGHTING NOTES

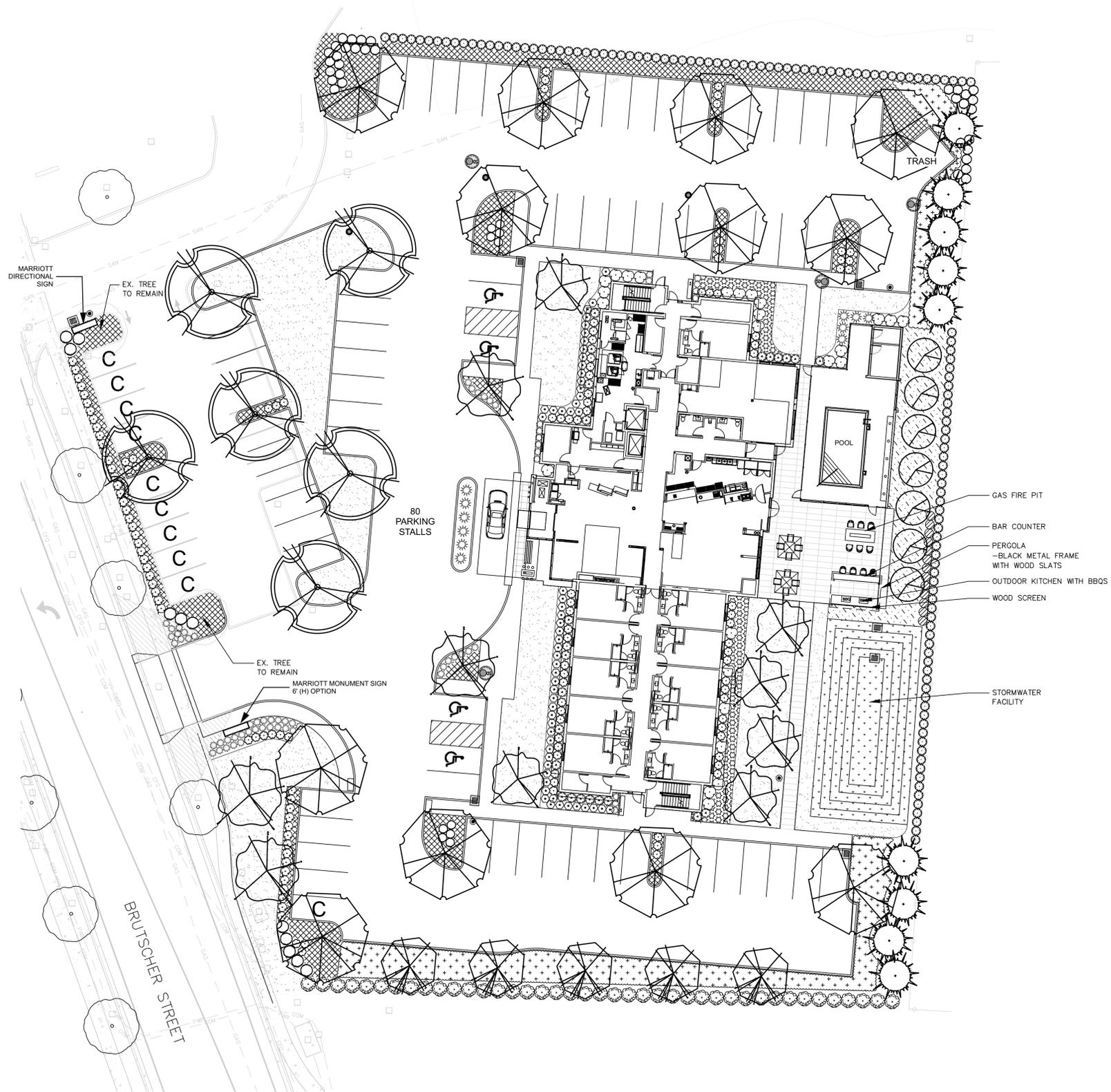
Designed by: Adam Suminski

Checked by: Jesse Culp

Date: February 19, 2020

DWG. NO

EL4



PLANT LIST: GENERAL LANDSCAPING

SYMBOL	#	LATIN/Common Name	Trees	Size	Spacing
TREES					
	6	ACER RUBRUM "SUNSET" Sunset Red Maple		2" cal	As shown
	5	CARPINUS BETULUS "FRANS FONTAINE" Frans Fontaine Hornbeam		2" cal.	As shown
	10	CERCIS CANADENSIS Eastern Redbud		1.5" cal.	As shown
	9	CUPRESSUS LEYLANDII Leyland Cypress		6-7' ht.	As shown
	12	ZELKOVA SERRATA "GREEN VASE" Green VASE Zelkova		2" cal.	As shown
EXISTING TREES					
SHRUBS					
	54	ABELIA X GRANDIFLORA "KALEIDOSCOPE" Kaleidoscope Abelia		5 gal.	3' o.c.
	26	GARDENIA JASMINOIDES "FROSTPROOF" Frostproof Gardenia		5 gal.	4' o.c.
	46	ILEX GLABRA "SHAMROCK" HAMROCK HOLLY		5 gal.	3' o.c.
	41	MYRTICA CALIFORNICA Pacific Wax Myrtle		5 gal.	5' o.c.
	56	NANDINA DOMESTICA "HARBOUR DWARF" HEAVENLY BAMBOO		2 gal.	30" o.c.
	23	PIERIS JAPONICA "LITTLE HEATH" Little Heath Lily Of The Valley		2 gal.	3' o.c.
	11	PHORMIUM TENAX "PURPUREUM" NEW ZEALAND FLAX		5 gal.	5' o.c.
	13	SPIRAEA BUM. "ANTHONY WATERER" Anthony Waterer Spirea		2 gal.	4' o.c.
	126	THUJA OCCIDENTALIS "SMARAGD" Emerald Green Arborvitae		6-7' ht.	3' o.c.
	86	VBURNUM DAVIDII David Viburnum		5 gal.	3' o.c.
PERENNIALS					
	64	CAREX OSHIMENSIS "EVEREST" Everest Sedge		1 gal.	18" o.c.
GROUNDCOVER					
	479	ARCTOSTAPHYLOS UVA-URSI "MASS." Massachusetts Kinnikinnick		1 gal.	3' o.c.
	292	MAHONIA REPENS Creeping Mahonia		1 gal.	3' o.c.
	170	EUONYMUS FORTUNEI "COLORATUS" Wintercreeper Euonymus		1 gal.	3' o.c.
	273	LIRIOPE MUSCARI Big Blue Lily Turf		1 gal.	18" o.c.
	9,323 SF	FINE LAWN SEED MIX			
		STORMWATER PLANTING			

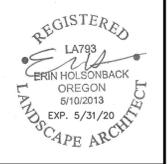
- GENERAL NOTES:**
- Contractor is to verify all plant quantities.
 - Adjust plantings in the field as necessary.
 - Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/ build by Landscape Contractor. Guarantee system for a minimum one year. Show drip systems as alternate bid only.
 - All plants are to be fully foliated, well branched and true to form.
 - Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or cause future problems to any structural elements of the project.
 - Contractor shall notify the Landscape Architect if specified materials or methods are not consistent with local climate and/or practices.

LANDSCAPE PLAN

SCALE 1" = 20'-0"



NO.	DATE	REVISIONS



OTTEN + ASSOCIATES
LANDSCAPE ARCHITECTURE
3933 SW Kelly Avenue, Suite B • Portland, OR 97239
Phone: (503) 972-0311 • www.ottenla.com

FAIRFIELD INN AND SUITES MARRIOTT
901 N. BRUTSCHER STREET
NEWBERG, OR
LANDSCAPE PLAN

DATE	2-28-2020
SCALE	NOTED
DRAWN	CHECKED
MPL	EH
SHEET NO	L1.0
	1 OF 2

OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 – 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliage, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. Landscape Contractor is to verify with the General Contractor if the on-site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitability of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing:
2 part native topsoil (no subsoil)
1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:

- Small shrubs - 1/8 lb./ plant
- Shrubs - 1/3 to 1/2 lb./ plant
- Trees - 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix "B" at 4.5 lbs. Per 1,000 sq.ft. and rake into soil surface. Establish an even, fine textured seedbed meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

SEED: Bluetag grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis.

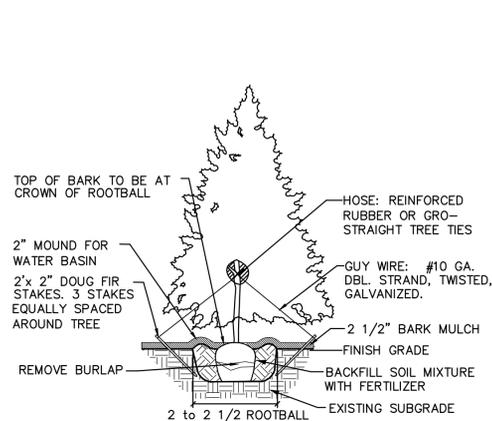
Fine Lawn Seed Mix: To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro-Time 303 Lawn Mix or as approved) Sow Seed at 5 lbs. / 1000 sq. ft.

MAINTENANCE OF SEEDED AREAS:

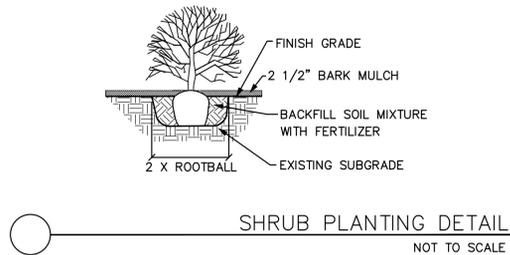
Fine Lawn Areas: The lawn areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1 1/2" to 2" in height. Remove clippings and dispose of off site.

GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

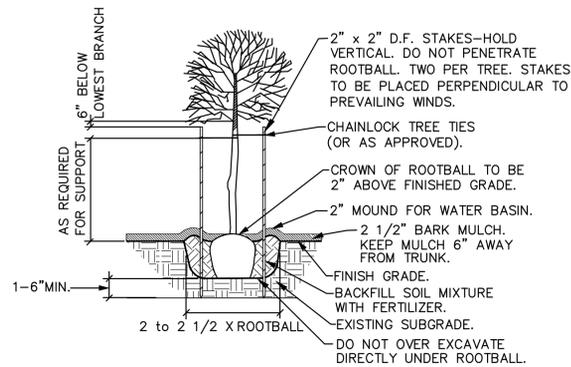
CLEAN-UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.



EVERGREEN TREE STAKING DETAIL
NOT TO SCALE



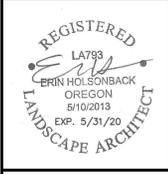
SHRUB PLANTING DETAIL
NOT TO SCALE



NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

GENERAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

NO.	DATE	REVISIONS



OTTEN + ASSOCIATES
LANDSCAPE ARCHITECTURE
3933 SW Kelly Avenue, Suite B • Portland, OR 97239
Phone: (503) 972-0311 • www.ottenla.com

FAIRFIELD INN AND SUITES MARRIOTT
901 N. BRUTSCHER STREET
NEWBERG, OR
LANDSCAPE SPECS & DETAILS

DATE	2-28-2018
SCALE	AS SHOWN
DRAWN	CHECKED
MPL	EH
SHEET NO	L2.0
2 OF 2	



REGISTERED ARCHITECT
 MICHAEL A. ABBOTT
 SEATTLE, WA
 STATE OF OREGON
PRELIMINARY

ABBOTT
 ARCHITECTURE

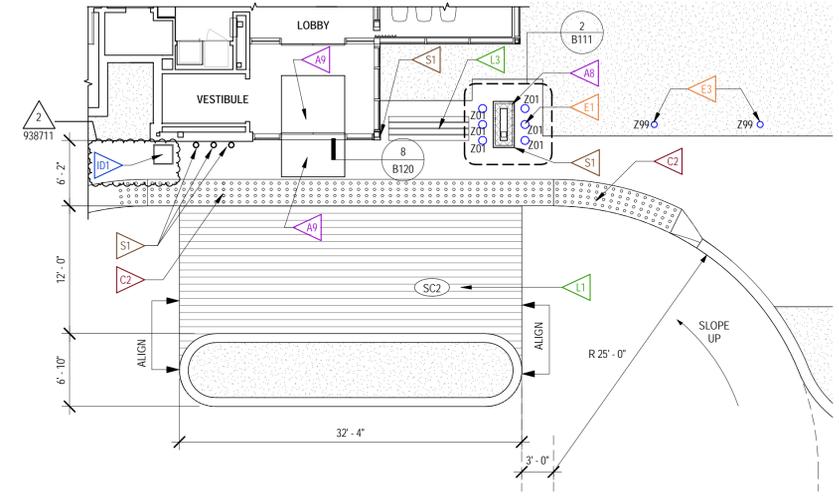
BOTHELL, WA 98011
 P 206.778.7008

FAIRFIELD INN AND SUITES
 BY MARRIOTT
 Newberg • Oregon • USA

Fairfield Inn and Suites Marriott	
901 N. Brutscher Street Newberg, OR	
DATE	1/20/2020
PROJECT	1907
DRAWN BY	
PROJECT NAME	ARCHITECTURAL SITE PLAN
A100	

CONCEPT SITE PLAN
 SCALE 1" = 20'





4 PAVING DETAIL AT PORTE COCHERE
 SCALE: 1/8" = 1'-0" Referenced from B100



2 EXTERIOR 3D VIEW - OUTDOOR POOL CONDITION
 NO SCALE

FAIRFIELD INN AND SUITES

BY MARRIOTT
 Newberg • Oregon • USA

Fairfield Inn and Suites Marriott	
901 N. Brutscher Street Newberg, OR	
DATE	4/1/2020
PROJECT	1907
DRAWN BY	MV-MA
LANDSCAPE	
SITE INFORMATION	
A100.1	

NOT FOR CONSTRUCTION - DD PRICING SET ONLY

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

ARCHITECTURE:

- A1** COORDINATE BAY WIDTHS W/ ELEVATOR SHAFT. PROVIDE 4'-0" MIN. CLEAR AT VENDING ON FLOORS ABOVE (SEE TYP. FLOOR PLAN). COORDINATE CENTER TO CENTER ON BAY TO MAINTAIN REQ'D - 12' - 6" CLEAR @ GUESTROOMS.
- A2** ELEVATORS: SEE DESIGN STANDARDS FOR ALL ELEVATOR REQUIREMENTS AND SHAFT SIZE MINIMUMS.
- A3** TYPICAL GUESTROOM DOORS: STAGGER ENTRANCES TO CREATE RELIEF ALONG CORRIDOR.
- A4** CONNECTING DOOR REQUIRED AT ACCESSIBLE GUESTROOMS. (NOT REQUIRED AT ACCESSIBLE SUITES).
- A5** SELF CLOSING, RATED LINEN CHUTE DISCHARGE HATCH W/ FUSIBLE LINK TIED TO FIRE ALARM SYSTEM. PROVIDE CLEAR DOOR SPACE BELOW DISCHARGE AREA. SEE PROJECT MANUAL MASTER FOR ADDITIONAL INFO.
- A6** ENSURE THAT NO GUESTROOM DOORS ARE LOCATED IMMEDIATELY ACROSS FROM ELEVATOR.
- A7** PROVIDE POCKET DOORS IN OPEN POSITION, WITH THE ELECTROMAGNETIC HOLD-OPEN TIED TO FIRE ALARM SYSTEM.
- A8** SIDE ENTRY CANOPY ABOVE.
- A9** INTERIOR GLAZED STOREFRONT. SEE FITNESS CENTER SHEET FOR DETAILS.
- A10** RECESSED WALK OFF MAT WITH FRAME. SEE SHEETS B120 AND B340 FOR DETAILS.
- A11** PROVIDE SMOKE DOORS TO PROTECT ELEVATOR OPENINGS WHERE REQUIRED BY CODE.
- A12** SELF CLOSING, RATED LINEN CHUTE INTAKE HATCH. SEE PROJECT MANUAL MASTER FOR ADDITIONAL INFO.
- A13** (3) DECORATIVE STEEL COLUMNS. PAINT TO MATCH EXTERIOR WHITE METAL TRIM THROUGHOUT.

ENGINEERING:

- E1** COORDINATE SIZE OF MECHANICAL ROOM WITH EQUIPMENT AND REQUIRED CLEARANCES. MECHANICAL ROOM TO SERVICE PUBLIC SPACES ON FIRST FLOOR AND OCCURS ON FIRST FLOOR ONLY. SEE ALSO B700 SHEETS.
- E2** COORDINATE SIZE OF ELECTRICAL ROOM WITH ELECTRICAL EQUIPMENT AND REQUIRED CLEARANCES. ALLOCATE ADDITIONAL SPACE IN ENGINEER'S OFFICE, STORAGE, MECHANICAL AND / OR SYSTEMS ROOMS WHERE NEEDED.
- E3** EXTERIOR STORAGE/SERVICE ROOMS SHOULD HAVE SUPPLEMENTAL HEATERS WHERE CLIMATE CONDITIONS WOULD RESULT IN TEMPERATURES BELOW 40 DEGREES. MOUNT HEATERS HIGH TO PREVENT DAMAGE.
- E4** MECHANICAL, ELECTRICAL SYSTEMS AND EQUIPMENT ROOMS ARE TO BE ADEQUATELY VENTED AND WHERE NECESSARY SHALL BE MECHANICALLY EXHAUSTED TO PREVENT HEAT BUILD-UP.
- E5** SHAFTS FOR: OUTSIDE AIR; TO ROOFTOP UNITS; AND FOR EXHAUST. PROVIDE FIRE DAMPERS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.

STRUCTURAL:

- S1** PAINTED STEEL SUPPORT COLUMNS.

SYMBOLS

- D** DOOR TYPE

REGISTERED ARCHITECT
MICHAEL J. ABBOTT
SEATTLE, WA
STATE OF OREGON

ABBOTT
ARCHITECTURE

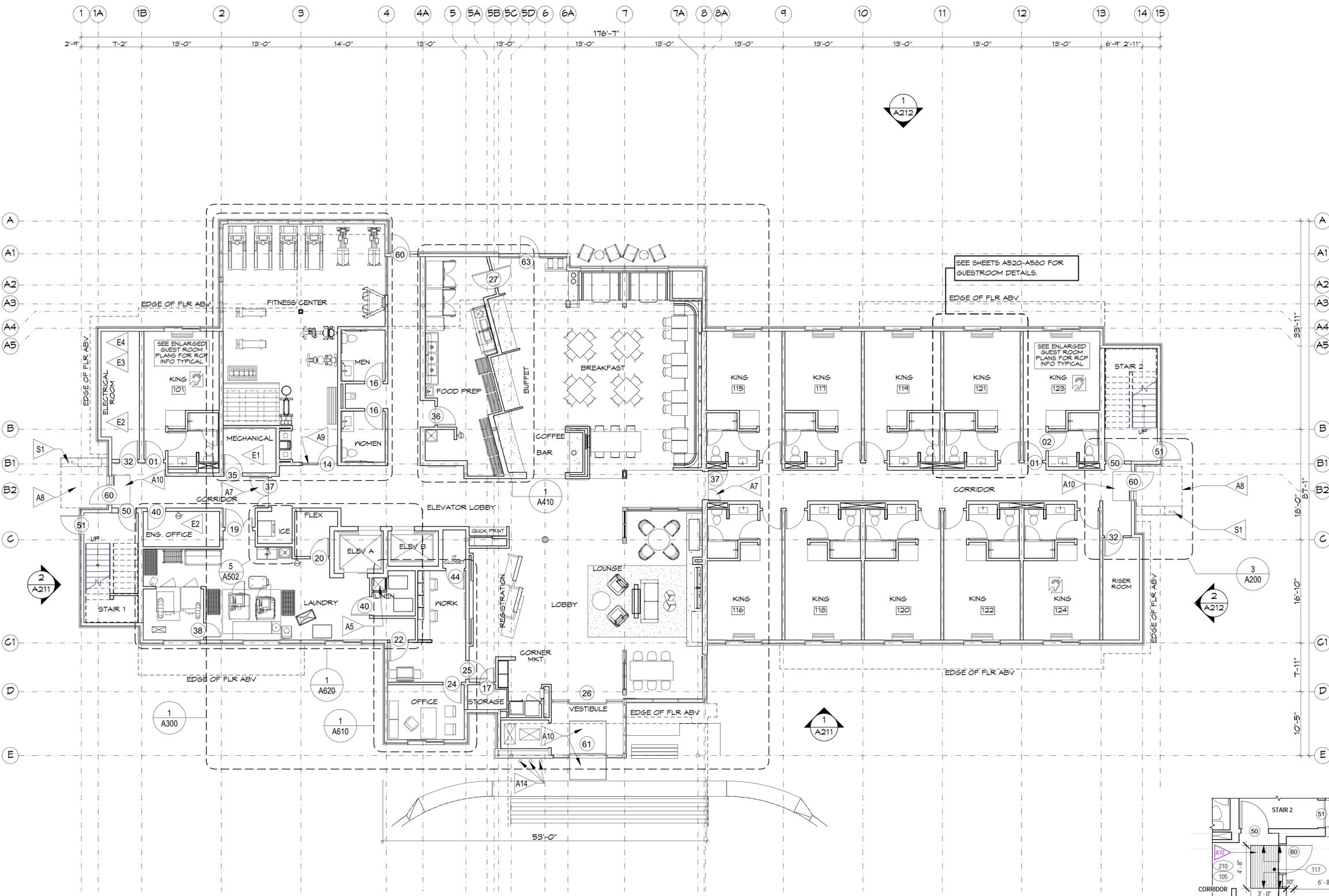
BOTHELL, WA 98011
P 206.778.7008

FAIRFIELD INN AND SUITES

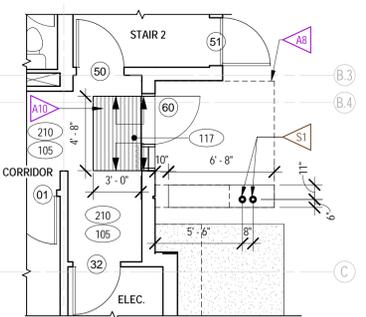
BY MARRIOTT
Newberg • Oregon • USA

Fairfield Inn and Suites Marriott	
901 N. Brutscher Street Newberg, OR	
DATE: 4/1/2020	30% REVIEW SET/PRICING 1/20/20
PROJECT: 1907	LAND USE REVIEW SET 3/20/20
DRAWN BY: MV-MA	MARRIOTT 30% REVIEW 3/20/20
LAND/OWNER NAME: FIRST FLOOR PLAN	DD SET - PRICING 4/1/2020
A201	

NOT FOR CONSTRUCTION - DD PRICING SET ONLY



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 8' 16' 24'



3 FIRST FLOOR/LOBBY LEVEL - CORRIDOR END
SCALE: 3/16" = 1'-0" Referenced from B200

CRITERIA NOTES

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- E3 EXTERIOR STORAGE/SERVICE ROOMS SHOULD HAVE SUPPLEMENTAL HEATERS WHERE CLIMATE CONDITIONS WOULD RESULT IN TEMPERATURES BELOW 40 DEGREES. MOUNT HEATERS HIGH TO PREVENT DAMAGE.
- E4 MECHANICAL, ELECTRICAL, SYSTEMS AND EQUIPMENT ROOMS ARE TO BE ADEQUATELY VENTED AND WHERE NECESSARY SHALL BE MECHANICALLY EXHAUSTED TO PREVENT HEAT BUILD-UP.
- E5 SHAFTS FOR OUTSIDE AIR: TO ROOFTOP UNITS, AND FOR EXHAUST. PROVIDE FIRE DAMPERS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.

STRUCTURAL:

- S1 PAINTED STEEL SUPPORT COLUMNS.

REGISTERED ARCHITECT
MICHAEL ABBOTT
SEATTLE, WA
STATE OF OREGON

ABBOTT
ARCHITECTURE

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P 206.778.7008

FAIRFIELD INN AND SUITES
BY MARRIOTT

Newberg • Oregon • USA

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Marriott
901 N. Brutscher Street
Newberg, OR

30% REVIEW SET/PRICING 1/20/20
LAND USE REVIEW SET 3/2/20
MARRIOTT 30% REVIEW 3/4/20
DD SET / PRICING 4/1/20

DATE: 4/1/2020
PROJECT: 1907
DRAWN BY: MV-NA
LAYOUT NAME: SECOND FLOOR PLAN

A202

NOT FOR CONSTRUCTION - DD PRICING SET ONLY



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SYMBOL LEGEND

- HEARING IMPAIRED ROOM TYPE
- ACCESSIBLE ROOM TYPE
- PARTITION TYPE
- DOOR TYPE
- WINDOW TYPE

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

ARCHITECTURE:

- A1 COORDINATE BAY WIDTHS W/ ELEVATOR SHAFT. PROVIDE 4'-0" MIN. CLEAR AT VENDING ON FLOORS ABOVE (SEE TYP. FLOOR PLAN). COORDINATE CENTER TO CENTER ON BAY TO MAINTAIN REQ'D - 12' - 6" CLEAR @ GUESTROOMS.
- A2 ELEVATORS: SEE DESIGN STANDARDS FOR ALL ELEVATOR REQUIREMENTS AND SHAFT SIZE MINIMUMS.
- A3 TYPICAL GUESTROOM DOORS: STAGGER ENTRANCES TO CREATE RELIEF ALONG CORRIDOR.
- A4 CONNECTING DOOR REQUIRED AT ACCESSIBLE GUESTROOMS. (NOT REQUIRED AT ACCESSIBLE SUITES).
- A5 SELF CLOSING, RATED LINEN CHUTE DISCHARGE HATCH W/ FUSIBLE LINK TIED TO FIRE ALARM SYSTEM. PROVIDE CLEAR DOOR SPACE BELOW DISCHARGE AREA. SEE PROJECT MANUAL MASTER FOR ADDITIONAL INFO.
- A6 ENSURE THAT NO GUESTROOM DOORS ARE LOCATED IMMEDIATELY ACROSS FROM ELEVATOR.
- A7 PROVIDE POCKET DOORS IN OPEN POSITION, WITH THE ELECTROMAGNETIC HOLD-OPEN TIED TO FIRE ALARM SYSTEM.
- A8 SIDE ENTRY CANOPY ABOVE.
- A9 INTERIOR GLAZED STOREFRONT. SEE FITNESS CENTER SHEET FOR DETAILS.
- A10 RECESSED WALK OFF MAT WITH FRAME. SEE SHEETS B120 AND B340 FOR DETAILS.
- A11 PROVIDE SMOKE DOORS TO PROTECT ELEVATOR OPENINGS WHERE REQUIRED BY CODE.
- A12 SELF CLOSING, RATED LINEN CHUTE INTAKE HATCH. SEE PROJECT MANUAL MASTER FOR ADDITIONAL INFO.
- A13 (3) DECORATIVE STEEL COLUMNS. PAINT TO MATCH EXTERIOR WHITE METAL TRIM THROUGHOUT.

ENGINEERING:

- E1 COORDINATE SIZE OF MECHANICAL ROOM WITH EQUIPMENT AND REQUIRED CLEARANCES. MECHANICAL ROOM TO SERVICE PUBLIC SPACES ON FIRST FLOOR AND OCCURS ON FIRST FLOOR ONLY. SEE ALSO B700 SHEETS.
- E2 COORDINATE SIZE OF ELECTRICAL ROOM WITH ELECTRICAL EQUIPMENT AND REQUIRED CLEARANCES. ALLOCATE ADDITIONAL SPACE IN ENGINEERS OFFICE, STORAGE, MECHANICAL AND / OR SYSTEMS ROOMS WHERE NEEDED.
- E3 EXTERIOR STORAGE/SERVICE ROOMS SHOULD HAVE SUPPLEMENTAL HEATERS WHERE CLIMATE CONDITIONS WOULD RESULT IN TEMPERATURES BELOW 40 DEGREES. MOUNT HEATERS HIGH TO PREVENT DAMAGE.
- E4 MECHANICAL, ELECTRICAL, SYSTEMS AND EQUIPMENT ROOMS ARE TO BE ADEQUATELY VENTED AND WHERE NECESSARY SHALL BE MECHANICALLY EXHAUSTED TO PREVENT HEAT BUILD-UP.
- E5 SHAFTS FOR OUTSIDE AIR: TO ROOFTOP UNITS, AND FOR EXHAUST. PROVIDE FIRE DAMPERS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.

STRUCTURAL:

- S1 PAINTED STEEL SUPPORT COLUMNS.

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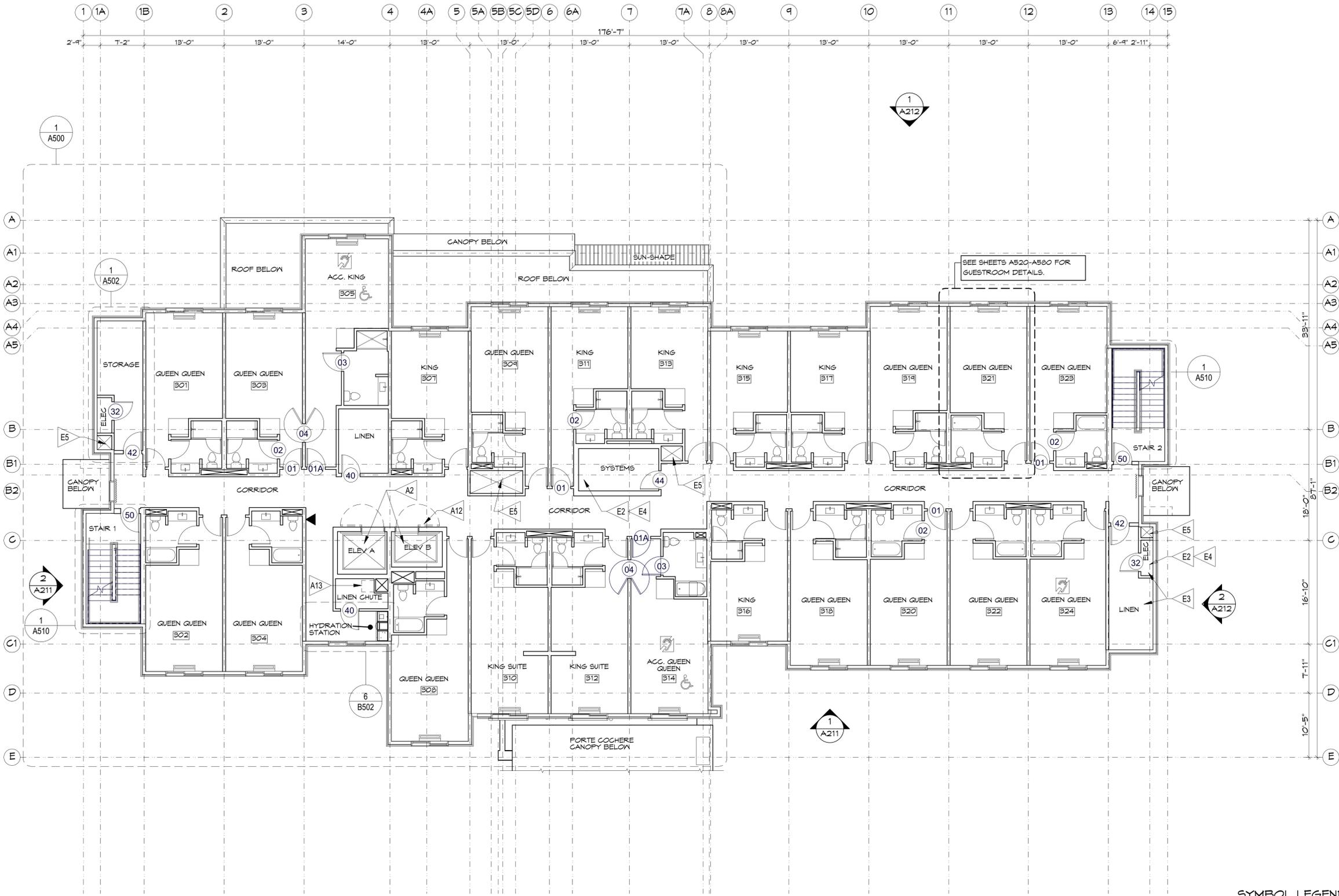
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MARRIOTT 30% REVIEW 3/4/2020
DD SET / PRICING 4/10/20

DATE: 4/1/2020
PROJECT: 1907
DRAWN BY: MV-NA
LAYOUT NAME: THIRD FLOOR PLAN

NOT FOR CONSTRUCTION - DD PRICING SET ONLY

A203



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 8' 16' 24'

SYMBOL LEGEND

- HEARING IMPAIRED ROOM TYPE
- ACCESSIBLE ROOM TYPE
- PARTITION TYPE
- DOOR TYPE
- WINDOW TYPE

CRITERIA NOTES

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ARCHITECTURE:

- A1 COORDINATE BAY WIDTHS W/ ELEVATOR SHAFT. PROVIDE 4'-0" MIN. CLEAR AT VENDING ON FLOORS ABOVE (SEE TYP. FLOOR PLAN). COORDINATE CENTER TO CENTER ON BAY TO MAINTAIN REQ'D - 12' - 6" CLEAR @ GUESTROOMS.
- A2 ELEVATORS: SEE DESIGN STANDARDS FOR ALL ELEVATOR REQUIREMENTS AND SHAFT SIZE MINIMUMS.
- A3 TYPICAL GUESTROOM DOORS: STAGGER ENTRANCES TO CREATE RELIEF ALONG CORRIDOR.
- A4 CONNECTING DOOR REQUIRED AT ACCESSIBLE GUESTROOMS. (NOT REQUIRED AT ACCESSIBLE SUITES).
- A5 SELF CLOSING, RATED LINEN CHUTE DISCHARGE HATCH W/ FUSIBLE LINK TIED TO FIRE ALARM SYSTEM. PROVIDE CLEAR DOOR SPACE BELOW DISCHARGE AREA. SEE PROJECT MANUAL MASTER FOR ADDITIONAL INFO.
- A6 ENSURE THAT NO GUESTROOM DOORS ARE LOCATED IMMEDIATELY ACROSS FROM ELEVATOR.
- A7 PROVIDE POCKET DOORS IN OPEN POSITION, WITH THE ELECTROMAGNETIC HOLD-OPEN TIED TO FIRE ALARM SYSTEM.
- A8 SIDE ENTRY CANOPY ABOVE.
- A9 INTERIOR GLAZED STOREFRONT. SEE FITNESS CENTER SHEET FOR DETAILS.
- A10 RECESSED WALK OFF MAT WITH FRAME. SEE SHEETS B120 AND B340 FOR DETAILS.
- A11 PROVIDE SMOKE DOORS TO PROTECT ELEVATOR OPENINGS WHERE REQUIRED BY CODE.
- A12 SELF CLOSING, RATED LINEN CHUTE INTAKE HATCH. SEE PROJECT MANUAL MASTER FOR ADDITIONAL INFO.
- A13 (3) DECORATIVE STEEL COLUMNS. PAINT TO MATCH EXTERIOR WHITE METAL TRIM THROUGHOUT.

ENGINEERING:

- E1 COORDINATE SIZE OF MECHANICAL ROOM WITH EQUIPMENT AND REQUIRED CLEARANCES. MECHANICAL ROOM TO SERVICE PUBLIC SPACES ON FIRST FLOOR AND OCCURS ON FIRST FLOOR ONLY. SEE ALSO B700 SHEETS.
- E2 COORDINATE SIZE OF ELECTRICAL ROOM WITH ELECTRICAL EQUIPMENT AND REQUIRED CLEARANCES. ALLOCATE ADDITIONAL SPACE IN ENGINEERS OFFICE, STORAGE, MECHANICAL AND / OR SYSTEMS ROOMS WHERE NEEDED.
- E3 EXTERIOR STORAGE/SERVICE ROOMS SHOULD HAVE SUPPLEMENTAL HEATERS WHERE CLIMATE CONDITIONS WOULD RESULT IN TEMPERATURES BELOW 40 DEGREES. MOUNT HEATERS HIGH TO PREVENT DAMAGE.
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- E5 SHAFTS FOR OUTSIDE AIR: TO ROOFTOP UNITS, AND FOR EXHAUST. PROVIDE FIRE DAMPERS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.

STRUCTURAL:

- S1 PAINTED STEEL SUPPORT COLUMNS.

REGISTERED ARCHITECT
MICHAEL ABBOTT
STATE OF OREGON

ABBOTT
ARCHITECTURE

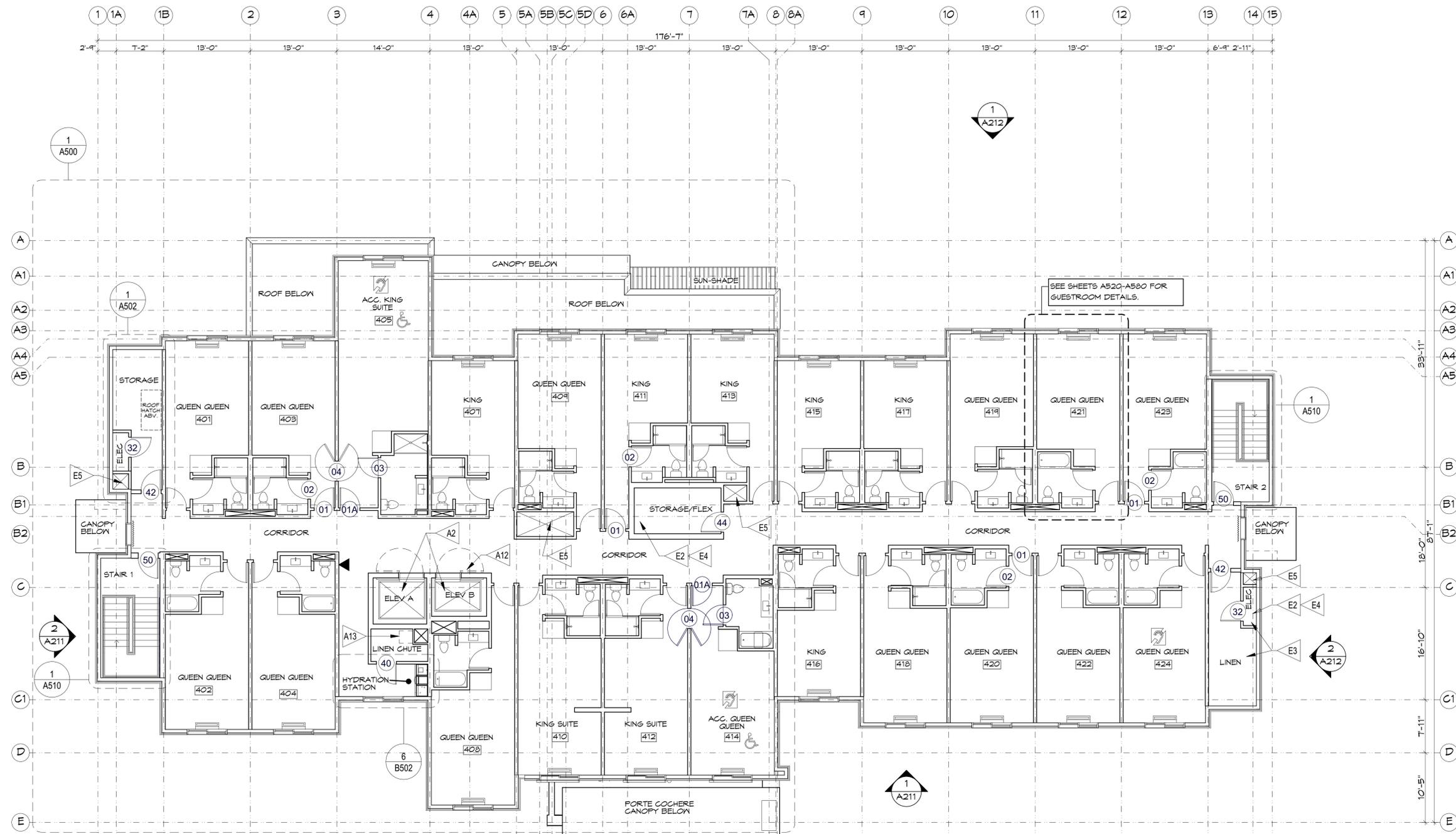
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Marriott
901 N. Brutscher Street
Newberg, OR

DATE: 4/1/2020
PROJECT: 1907
DRAWN BY: MV-NA
LAYOUT NAME: FOURTH FLOOR PLAN

A204



FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND

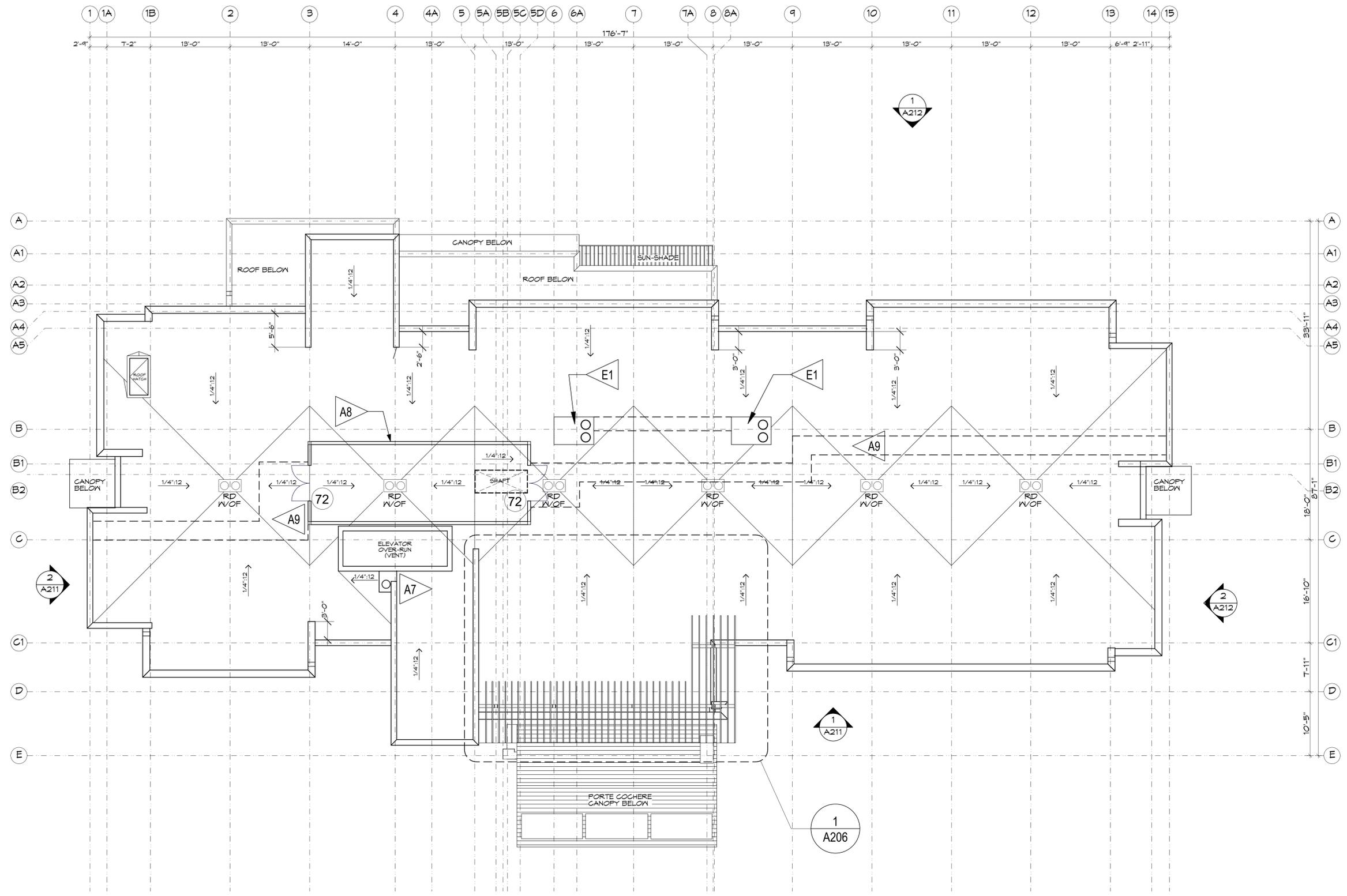
- HEARING IMPAIRED ROOM TYPE
- ACCESSIBLE ROOM TYPE
- PARTITION TYPE
- DOOR TYPE
- WINDOW TYPE

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ROOF PLAN
SCALE: 1/8" = 1'-0"
0 8' 16' 24'

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DATE	4/1/2020
PROJECT	1907
DRAWN BY	MV-MA
LAND NAME	ROOF PLAN
A205	

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FAIRFIELD INN AND SUITES

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901 N. Brutscher Street Newberg, OR	
DATE	4/1/2020
PROJECT	1907
DRAWN BY	MV-MA
LOCATION NAME	EXTERIOR PERSPECTIVES
A210	

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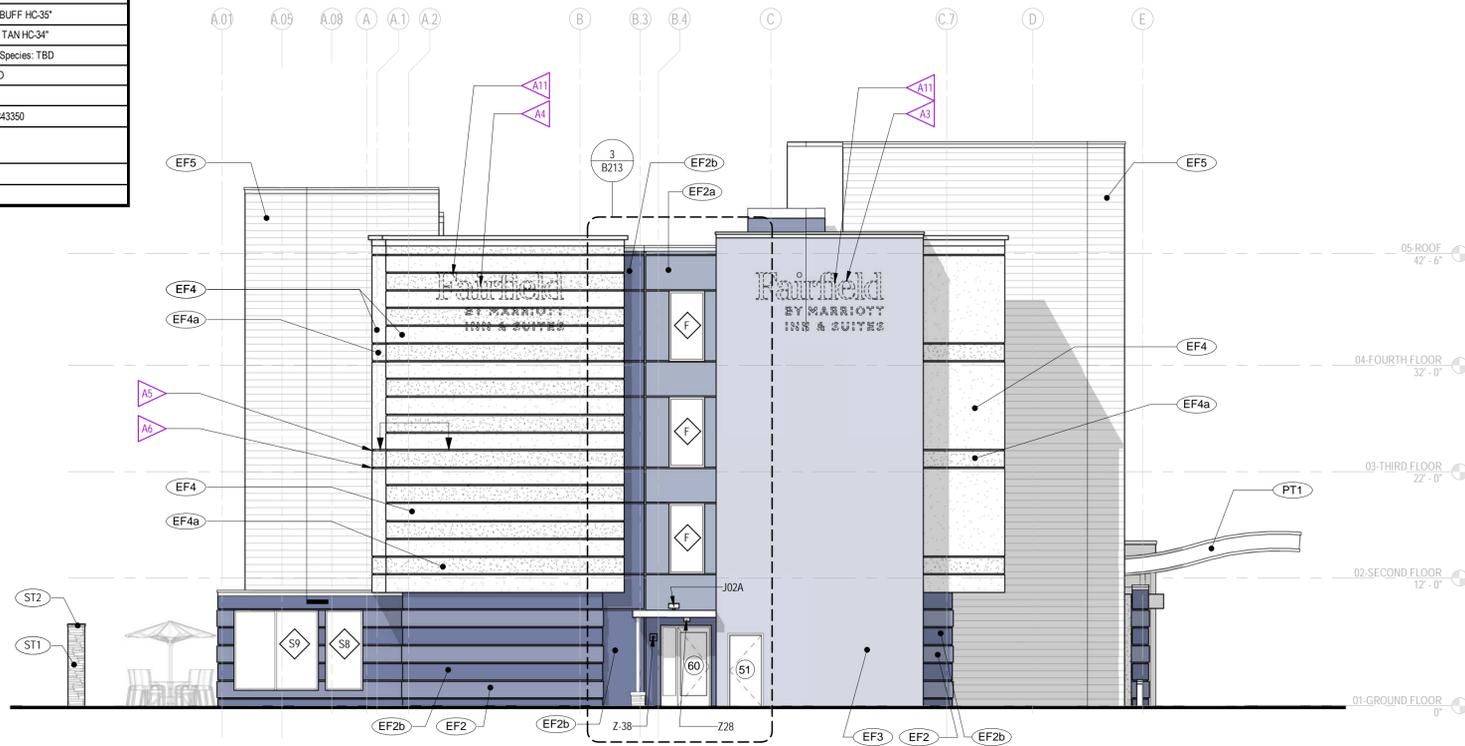


EVENING VIEW @ ENTRY



1 EXTERIOR PERSPECTIVE
 NO SCALE

EXTERIOR FINISH SCHEDULE - FAIRFIELD INN & SUITES - NEWBERG, OREGON			
MARK	TYPE	LOCATIONS	DESCRIPTION
EF1	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BENJAMIN MOORE "WHITE"
EF2	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "DEEP SPACE 2125-20"
EF2a	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "GRAY SHOWER 2125-30"
EF2b	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "DEEP SPACE 2125-20"
EF3	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "NEW CHESTNUT AC-6"
EF4	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "POWELL BUFF HC-35"
EF4a	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: PANEL HZ10 SIDING Color: BM "WILMINGTON TAN HC-34"
EF5	WOOD PLANK SIDING	PER BUILDING ELEVATIONS	Mfr: NOVA OR SIM Product: 1X6 HARDWOOD RAINSCREEN Wood Species: TBD
ST1	STONE VENEER	PER BUILDING ELEVATIONS	Mfr: ELDORADO STONE Product: CLIFFSTONE Color: MONTEGITO
ST2	STONE COPING	PER BUILDING ELEVATIONS	Mfr: TBD Product: CUSTOM CAST STONE Color: TBD
PT1	METAL	STEEL CANOPY AND METAL FACIA	Color: PT-1 - AAMA 2605 - TO MATCH BONE WHITE (PVDF) - PPG #UC43350
	METAL	GUEST ROOM WINDOWS/PTAC GRILLE FIRST FLOOR WINDOWS, DOORS, PARAPET COPING	Color: SW-2604 SILVERSMITH (SIM TO CLEAR ANODIZED)



2 SIDE ELEVATION WEST
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

- ARCHITECTURE:**
- A1 TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
 - A2 TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
 - A3 OPT 1 - PREFERRED LOCATION FOR OPTIONAL CHANNEL LETTER SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE BASED ON BUILDING ORIENTATION. VERIFY PARAPET HEIGHT OR WALL CONSTRUCTION IN THE AREA SIGN TO BE INSTALLED WILL ALLOW FOR REAR ACCESS REQUIRED FOR CHANNEL LETTER INSTALLATION AND OPERATION.
 - A4 OPT 2 - SECONDARY LOCATION FOR OPTIONAL SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE AND SEE NOTE A3 ABOVE FOR WALL REQUIREMENTS FOR CHANNEL LETTER INSTALLATION.
 - A5 ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
 - A6 CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING.
 - A7 SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS.
 - A8 ROOF SHADE CANOPY.
 - A9 WINDOW TO BE "FROSTED" TO CREATED VISUAL SCREEN TO LAUNDRY ROOM.
 - A10 CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.
 - A11 PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
 - A12 SIGNAGE AT PORTE COCHERE. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.

- ENGINEERING:**
- E1 PTAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME.



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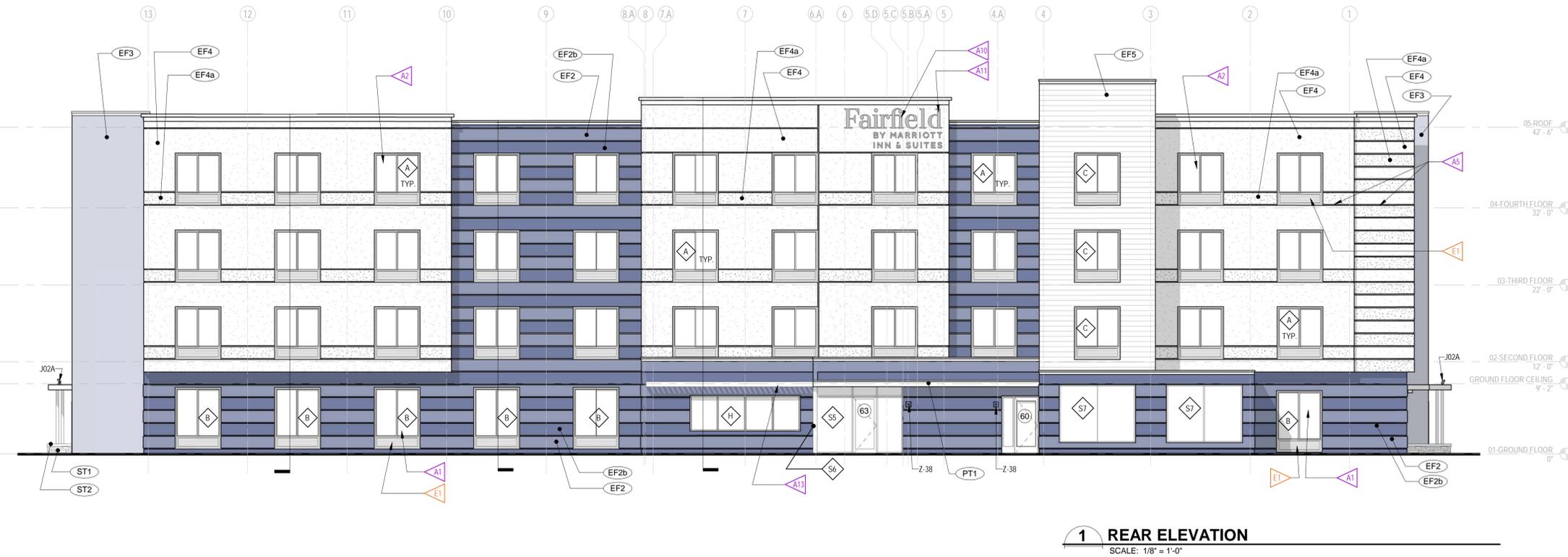
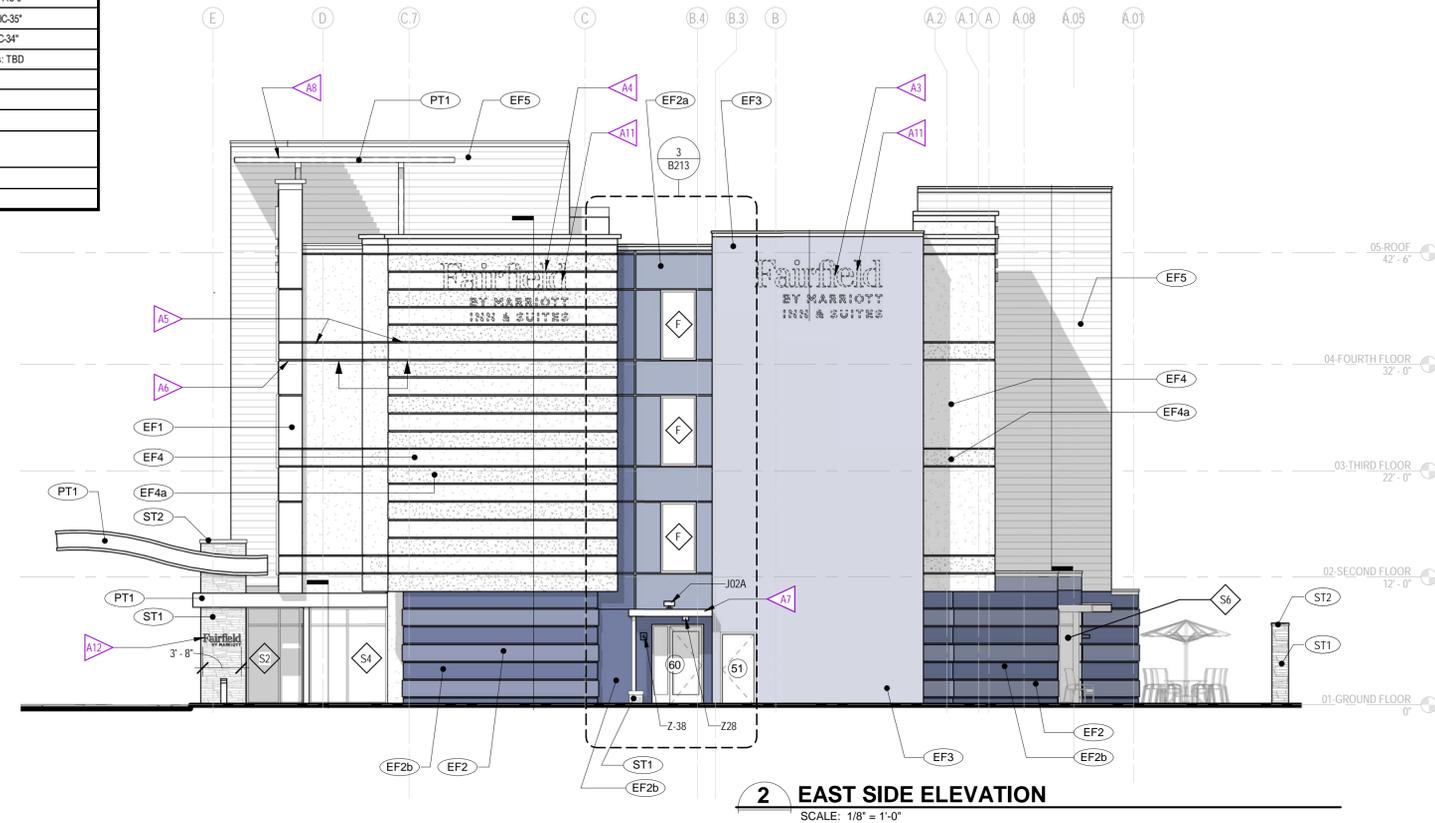
FAIRFIELD INN AND SUITES
BY MARRIOTT

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Fairfield Inn and Suites Marriott	
901 N. Brutscher Street Newberg, OR	
DATE	4/1/2020
PRODUCT	1907
DRAWN BY	MV-MA
LAST NAME	EXTERIOR ELEVATIONS
A211	

NOT FOR CONSTRUCTION - DD PRICING SET ONLY

EXTERIOR FINISH SCHEDULE - FAIRFIELD INN & SUITES - NEWBERG, OREGON			
MARK	TYPE	LOCATIONS	DESCRIPTION
EF1	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BENJAMIN MOORE "WHITE"
EF2	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "DEEP SPACE 2125-20"
EF2a	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "GRAY SHOWER 2125-30"
EF2b	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "DEEP SPACE 2125-20"
EF3	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "NEW CHESTNUT AC-6"
EF4	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: REVEAL PANEL SIDING Color: BM "POWELL BUFF HC-35"
EF4a	FIBER CEMENT SIDING	PER BUILDING ELEVATIONS	Mfr: HARDI Product: PANEL HZ10 SIDING Color: BM "WILMINGTON TAN HC-34"
EF5	WOOD PLANK SIDING	PER BUILDING ELEVATIONS	Mfr: NOVA OR SIM Product: 1X6 HARDWOOD RAINSCREEN Wood Species: TBD
ST1	STONE VENEER	PER BUILDING ELEVATIONS	Mfr: ELDORADO STONE Product: CLIFFSTONE Color: MONTECITO
ST2	STONE COPING	PER BUILDING ELEVATIONS	Mfr: TBD Product: CUSTOM CAST STONE Color: TBD
PT1	METAL	STEEL CANOPY AND METAL FACIA	Color: PT-1 - AAMA 2605 - TO MATCH BONE WHITE (PVDf) - PPG #UC43350
	METAL	GUEST ROOM WINDOWS/PTAC GRILLE FIRST FLOOR WINDOWS, DOORS, PARAPET COPING	Color: SW-2804 SILVERSMITH (SIM TO CLEAR ANODIZED)



CRITERIA NOTES

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ARCHITECTURE:

- A1 TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
 - A2 TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
 - OPT 1 - PREFERRED LOCATION FOR OPTIONAL CHANNEL LETTER SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE BASED ON BUILDING ORIENTATION. VERIFY PARAPET HEIGHT OR WALL CONSTRUCTION IN THE AREA SIGN TO BE INSTALLED WILL ALLOW FOR REAR ACCESS REQUIRED FOR CHANNEL LETTER INSTALLATION AND OPERATION.
 - OPT 2 - SECONDARY LOCATION FOR OPTIONAL SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE AND SEE NOTE A3 ABOVE FOR WALL REQUIREMENTS FOR CHANNEL LETTER INSTALLATION.
 - A5 ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
 - A6 CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING.
 - A7 SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS.
 - A8 ROOF SHADE CANOPY.
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 - A10 CHANNEL LETTER SIGNAGE AT FRONT AND REAR OF BUILDING. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.
 - A11 PROVIDE ADEQUATE BLOCKING BEHIND WALL FOR SIGNAGE. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS. PROVIDE ADEQUATE DEDICATED CIRCUITRY BROUGHT TO SIGN LOCATION FROM ELECTRICAL PANEL.
 - A12 SIGNAGE AT PORTE COCHERE. SEE EXTERIOR SIGNAGE SPECIFICATIONS FOR REQUIREMENTS.
 - A13 LOUVERED SUNSHADE.
- ENGINEERING:**
- E1 PTAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME.

REGISTERED ARCHITECT
MICHAEL J. ABBOTT
SEATTLE, WA
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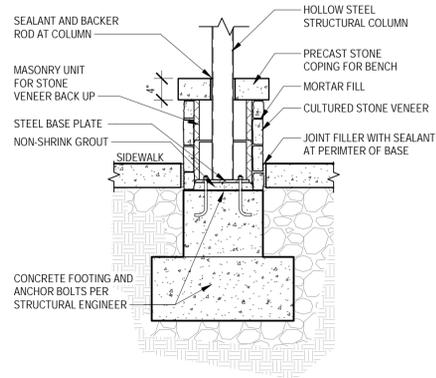
FAIRFIELD INN AND SUITES

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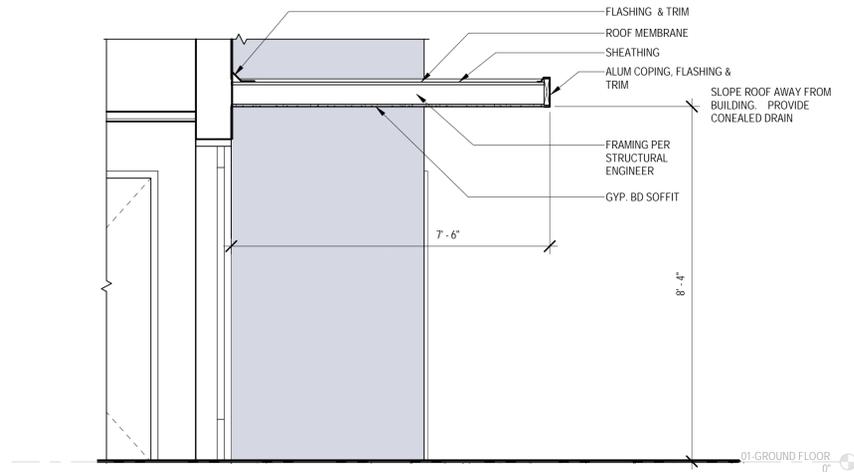
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DATE: 4/1/2020	30% REVIEW SET/PRINTING 1/20/20
PROJECT: 1907	LAND USE REVIEW SET 3/30/20
DRAWN BY: MV-NA	MARRIOTT 30% REVIEW 3/4/20
LAST NAME: EXTERIOR ELEVATIONS	DD SET / PRICING 4/1/20
A212	



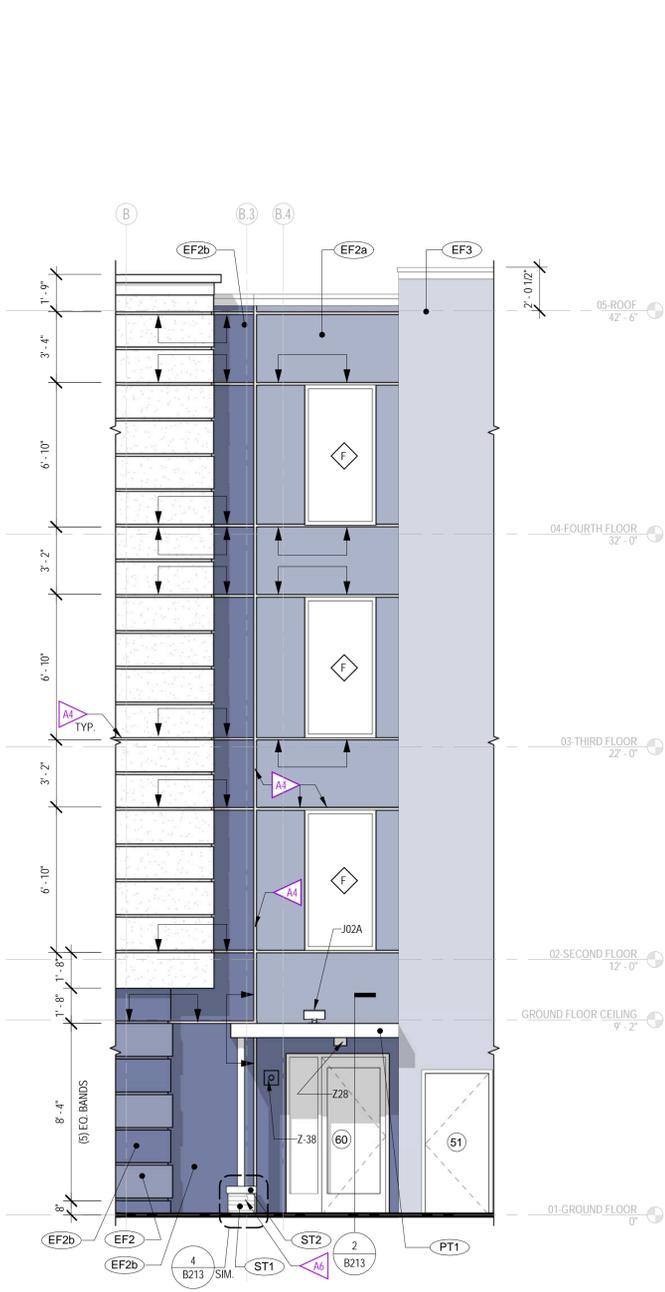
4 PRECAST & STONE BENCH @ SIDE ENTRY

SCALE: 3/4" = 1'-0" Referenced from B213



2 CANOPY OVER SIDE DOOR

SCALE: 1/2" = 1'-0" Referenced from B213



3 ENLARGED SIDE ELEVATION

SCALE: 1/4" = 1'-0" Referenced from B211



1 ENLARGED FRONT ELEVATION

SCALE: 1/4" = 1'-0" Referenced from B211

REFERENCE NOTES

A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

B. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS; AND ALSO FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL LOUVER COLOR, DOOR FRAMES, PORTE COCHERE AND CANOPY STRUCTURE FINISHES, ETC.

GENERAL NOTES

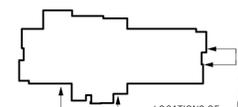
- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.
- PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.
- CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.
- ALL DOWNSPOUTS MUST HAVE CLEANOUTS.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISIBLE TO THE GUEST AT GRADE LEVEL.

CRITERIA NOTES

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ARCHITECTURE:

- A1** ALIGN WINDOWS AT HEAD ACROSS BUILDING (TYP.)
- A2** ALUMINUM JAMB AND HEADER EXTENSION WITH FINISH ACCENT COLOR TO MATCH WINDOW. SEE WINDOW SCHEDULE FOR DETAILS.
- A3** EIFS VENEER FINISH SCORED AT 8" O.C. HORIZONTALLY. SEE DETAILS B222
- A4** 1" EIFS REVEAL. SEE WALL PROFILES FOR DETAILS.
- A5** ALIGN RUSTICATION ACROSS BUILDING, MAINTAIN CONSISTENCY BETWEEN DARK AND LIGHT EIFS FINISHES.
- A6** CMU KNEE WALL WITH CULTURED STONE FINISH AND PRECAST TOP TO CREATE BENCH.
- A7** SEE GUESTROOM PLANS FOR TYPICAL WINDOW LOCATIONS
- A8** ALUMINUM CLADDING FINISH AT COVE TO MATCH STOREFRONT FINISH.
- A9** BLANK LOUVER TO MATCH GUESTROOM LOUVER.
- A10** ALUMINUM ROOF SHADE CANOPY, SEE SHEET B202 FOR DETAILS.



KEY PLAN



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901 N. Brutscher Street	
Newberg, OR	
DATE: 4/1/2020	30% REVIEW SET/PRICING 1/20/2020
PROJECT: 1907	LAND USE REVIEW SET 3/20/2020
DRAWN BY: MV-MA	MARRIOTT 30% REVIEW 3/20/2020
LAST NAME: EXTERIOR ELEVATIONS DETAILS	02 SET / PRICING 4/1/2020
A213	

NOT FOR CONSTRUCTION - DD PRICING SET ONLY